

# DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	M K Middleton
Contact name (only applicable for companies)	Rudd Rankine
Postal address (P.O. Box or street address)	C/- ARO Industries 44 McLeod Street
Suburb	Cairns
State	QLD
Postcode	4870
Country	Australia
Contact number	42816897
Email address (non-mandatory)	admin@aroindustries.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	ARO0114

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☐ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		18	Owen Street	Mossman
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	22	RP706256	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☒ Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

<b>6.1) Provide details about the first development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input checked="" type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Civil works associated with Approval ROL 2021_4170/1
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms guide: Relevant plans</a>.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
<b>6.2) Provide details about the second development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
<b>6.3) Additional aspects of development</b>
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input type="checkbox"/> Not required

## Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete DA Form 2 – Building work details

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input type="checkbox"/> No			

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**

**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

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**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

**Note:** This division is only required to be completed if any part of the development application involves operational work.

**14.1) What is the nature of the operational work?**

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input checked="" type="checkbox"/> Drainage work	<input checked="" type="checkbox"/> Earthworks	<input checked="" type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input checked="" type="checkbox"/> Other – please specify: Driveway and Crossover		

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

<input checked="" type="checkbox"/> Yes – specify number of new lots:	4
<input type="checkbox"/> No	

**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

Approx. \$100,000
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**PART 4 – ASSESSMENT MANAGER DETAILS**

**15) Identify the assessment manager(s) who will be assessing this development application**

Douglas Shire Council
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**16) Has the local government agreed to apply a superseded planning scheme for this development application?**

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

#### Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the <b>Chief Executive of the distribution entity or transmission entity:</b>
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul>
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council:</b>
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the <b>Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:</b>
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the <b>relevant port operator</b> , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the <b>Chief Executive of the relevant port authority:</b>
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the <b>Gold Coast Waterways Authority:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the <b>Queensland Fire and Emergency Service:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> Further advice about information requests is contained in the <a href="#">DA Forms Guide</a> .

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application  
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	ROL 2021_4170/1	16 September 2021	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application  
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached  
☒ No

### 23) Further legislative requirements

#### **Environmentally relevant activities**

#### 23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

#### **Hazardous chemical facilities**

#### 23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application  
☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.



### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application  
☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below  
☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*  
☒ No

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)  
☒ No

### Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

**Note:** See guidance materials at [www.planning.dsdmip.qld.gov.au](http://www.planning.dsdmip.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

### 25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

---

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

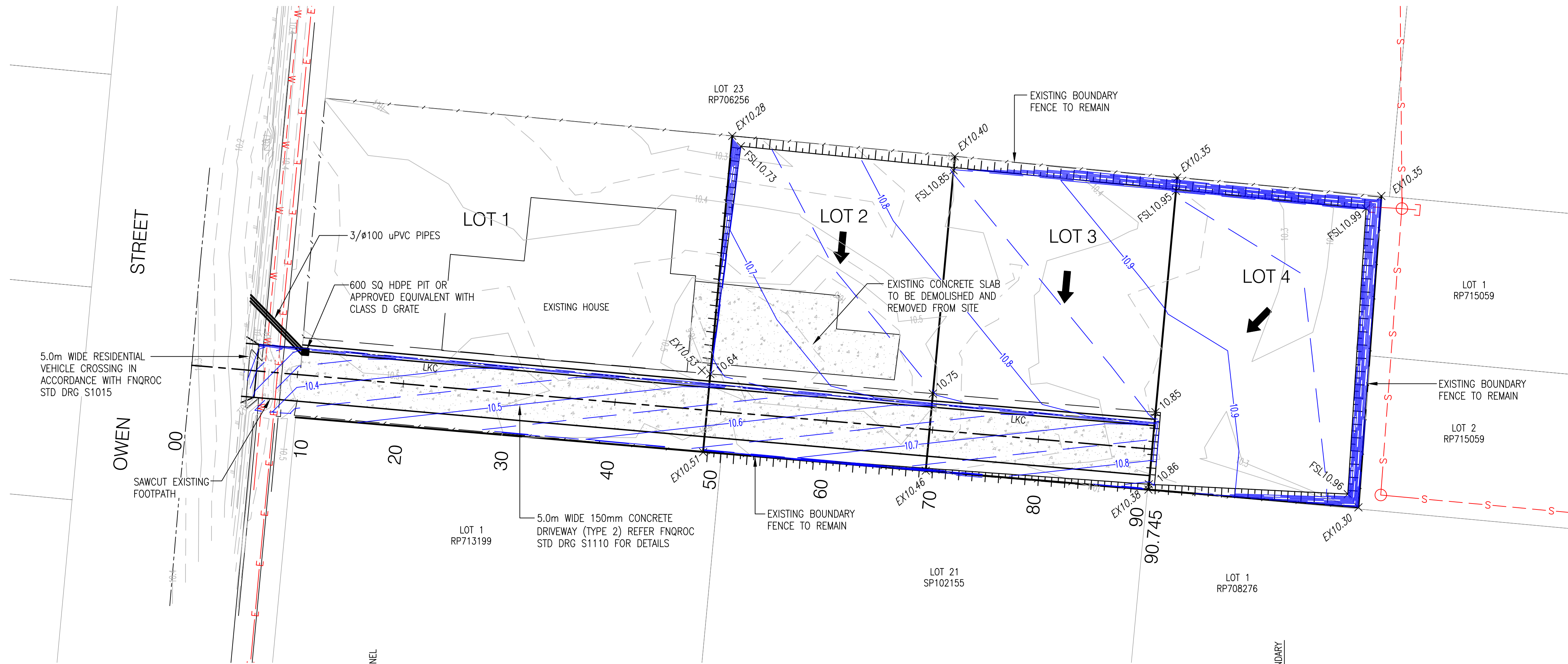
### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



Printed: 20 December 2021, 1:16 PM (MichelleStevenson) File: C:\Users\MichelleStevenson\ARO Industries Pty Ltd\Staff - Documents\TotalSynergy\ARO0114 18 Owen Street Mossman\3. Documentation\Drawings\ARO0114-C01(2).dwg



LEGEND

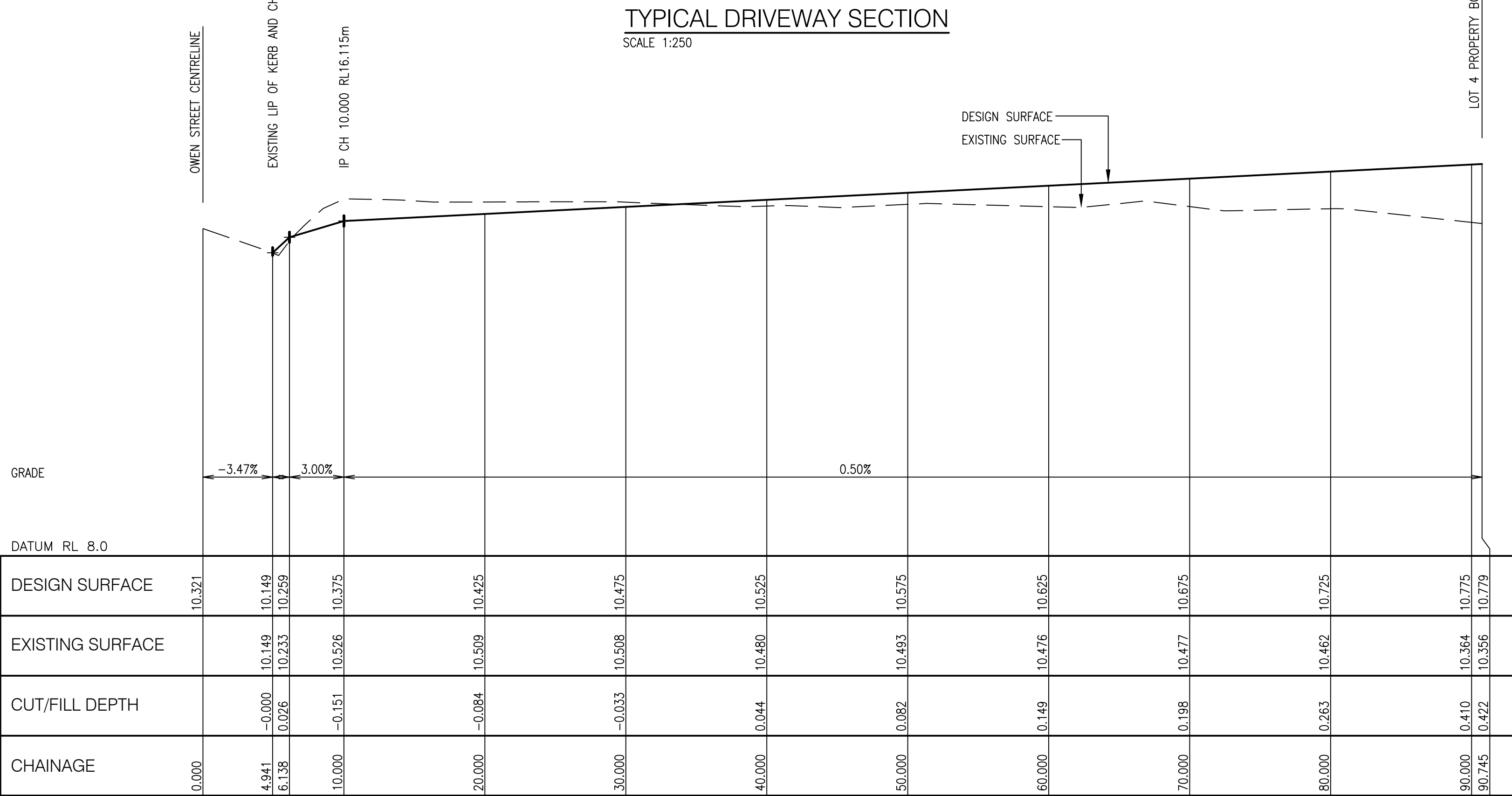
- DIRECTION OF FALL ON LOTS
- FINISHED SURFACE LEVEL ON ALLOTMENT (REFER NOTE 1)
- EXISTING SURFACE LEVEL
- DESIGN SURFACE CONTOUR (0.05m INTERVAL)
- EXISTING SURFACE CONTOUR (0.05m INTERVAL)
- TOP OF BATTER
- ACCESS CROSSOVER
- EDGE OF EXISTING SEALED ROAD
- EXISTING WATER
- EXISTING SEWER
- EXISTING OVERHEAD ELECTRICITY

NOTES

- EXISTING SERVICES HAVE BEEN LOCATED APPROXIMATELY FROM COUNCIL RECORDS, CONTRACTOR IS TO LOCATE AND CONFIRM LEVELS AND CLEARANCES PRIOR TO CONSTRUCTION.
- ALL WORKS TO BE IN ACCORDANCE WITH FNQROC MANUAL GUIDELINES AND SPECIFICATIONS.
- DESIGN SURFACE LEVELS SHOWN ARE AFTER ALL EARTHWORKS ARE COMPLETED, INCLUDING 75mm TOPSOILING.
- BATTERS SHALL BE 1 ON 1 UNLESS NOTED OTHERWISE.
- ALL DESIGN SURFACE LEVELS ARE TO BE GRADED EVENLY BETWEEN SHOWN LEVELS UNLESS OTHERWISE SHOWN.
- REFER TO FNQROC STANDARD DRAWINGS:  
S1000 : CONCRETE KERB & CHANNEL  
S1015 : ACCESS CROSSOVERS
- SEDIMENT FENCE IS TO BE PROVIDED AROUND THE PERIMETER OF THE CONSTRUCTION AREA PRIOR TO COMMENCING WORK ONSITE.

DRIVEWAY SETOUT TABLE

CHAINAGE	EASTING	NORTHING	BEARING
0.000	326123.900	8179160.094	94°59'49.30"
90.745	326214.299	8179152.190	94°59'49.30"

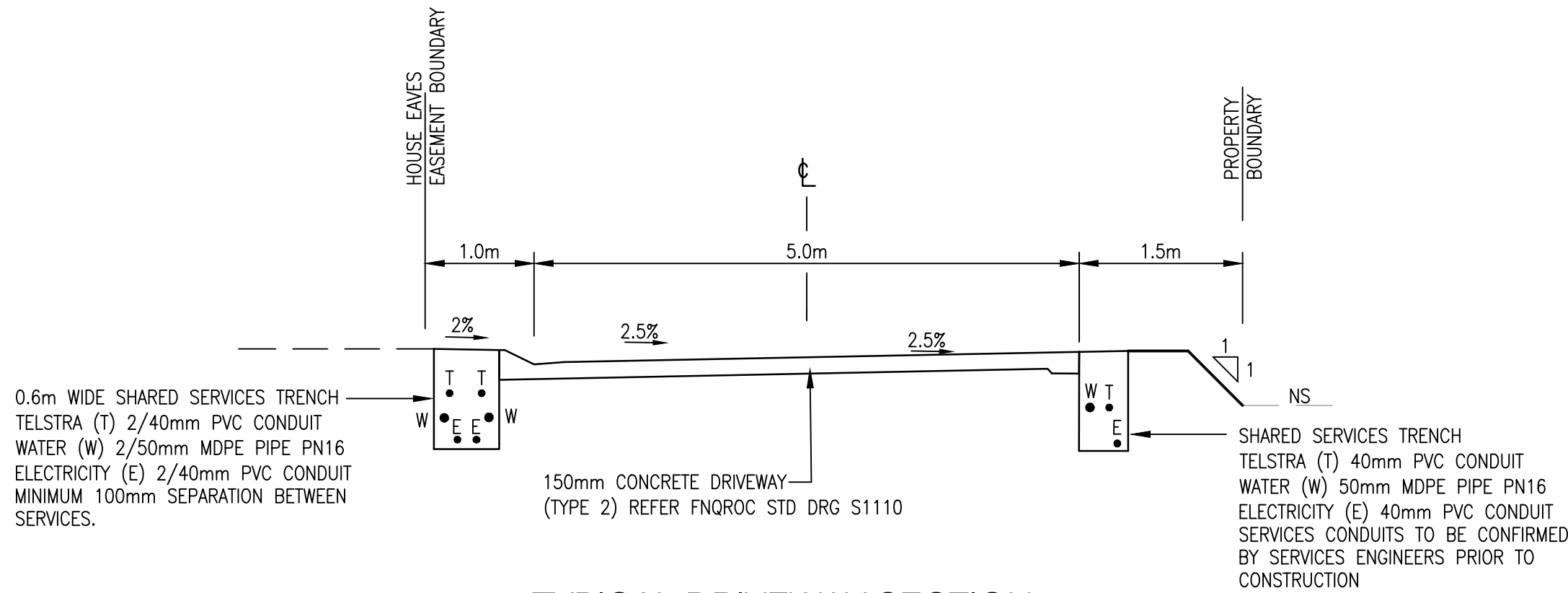


TYPICAL DRIVEWAY SECTION

SCALE 1:250

DRIVEWAY LONGITUDINAL SECTION

SCALE HOR 1:250, VERT 1:25



TYPICAL DRIVEWAY SECTION

SCALE 1:50

No.	Description	Reviewed	Approved	Date
2	OPERATIONAL WORKS APPROVAL ISSUE	-	-	20/12/2021
1	PRELIMINARY ISSUE	-	-	19/11/2021

Client Logo	
Client	M K MIDDLETON
Project	18 OWEN STREET, SUBDIVISION 1 INTO 4
Title	GENERAL ARRANGEMENT
Drawing No.	ARO0114-C01

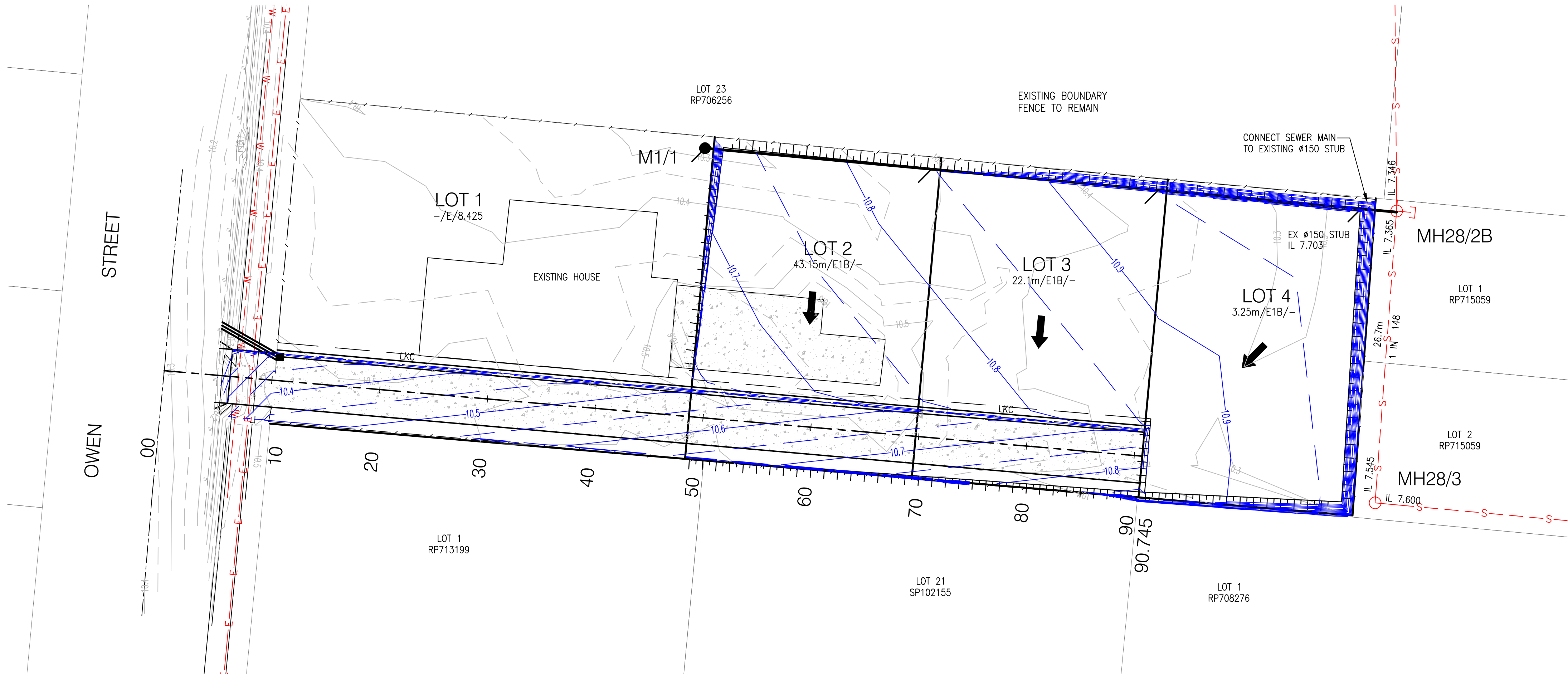
Drawn	MS	Designed	MS	Approved		Scale (A1 size)	AS SHOWN
Drawing Check		Design Check		RPEQ	Date		Drawing is not to be used for construction unless approved.

44 McLeod Street Cairns Qld 4870	T (07) 4281 6897 E admin@arindustries.com.au W www.arindustries.com.au	ABN: 69 461 461 298
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APPROVAL ISSUE





TYPICAL DRIVEWAY SECTION  
SCALE 1:250

LEGEND

- SEWER PIPE AND MANHOLE
- SEWER ENDCAP
- HOUSE CONNECTION BRANCH (HCB)
- LINE NUMBER / MANHOLE NUMBER
- 13.5/A/9.30
- DISTANCE FROM DOWNSTREAM MANHOLE / HOUSE CONNECTION TYPE / INVERT LEVEL FOR TYPE'S A AND E HCB
- EXISTING SEWER LINE, MANHOLES, PIPE DIAMETER AND INVERT LEVELS
- DESIGN SURFACE CONTOUR (0.2m INTERVAL)
- BATTER TOE/TOP
- EDGE OF EXISTING SEALED ROAD
- EXISTING STORMWATER
- EXISTING WATER
- EXISTING OVERHEAD ELECTRICITY

NOTES

- EXISTING SERVICES HAVE BEEN LOCATED APPROXIMATELY FROM COUNCIL RECORDS, CONTRACTOR IS TO LOCATE AND CONFIRM LEVELS AND CLEARANCES PRIOR TO CONSTRUCTION.
- ALL WORKS TO BE IN ACCORDANCE WITH FNQROC MANUAL GUIDELINES AND SPECIFICATIONS.
- ALL HOUSE CONNECTION BRANCHES (HCB'S) TO BE Ø100 AND IN ACCORDANCE WITH FNQROC STD DRG S3005.
- LOCATION OF ALL SEWER MANHOLES TO BE 1.5m OFFSET FROM FRONT PROPERTY BOUNDARY, AND 0.8m OFFSET FROM SIDE AND REAR PROPERTY BOUNDARIES, UNLESS NOTED OTHERWISE ON PLAN.
- REFER TO FNQROC STANDARD DRAWINGS:  
S3000 SEWERAGE MANHOLES  
S3005 HOUSE CONNECTION BRANCHES  
S3015 SEWER BEDDING - TRENCH DETAILS
- FINISHED LID LEVELS OF SEWER MANHOLES TO STAND 50mm PROUD OF FINISHED SURFACE LEVEL (AFTER TOPSOILING IS COMPLETED).

SEWER MANHOLE SETOUT

MANHOLE No.	EASTING	NORTHING
M1/1	326173.865	8179180.865

PIPE GRADE (1 IN ...)	100
PIPE LENGTH (m)	64.18m
DATUM RL	0.000
PIPE SIZE (mm), CLASS	Ø150 PVC - CLASS SN8
FINISHED (& EXISTING) SURFACE LEVEL	10.303 10.280
DEPTH TO INVERT	2.600 1.935
INVERT LEVEL	7.703 8.345

LINE M1

SEWER LONGITUDINAL SECTION  
SCALE 1:1000 HOR, 1:100 VERT

0 2.5 5 7.5 10 12.5m  
SCALE 1:250 (A1 SIZE)

No.	Description	Reviewed	Approved	Date
2	OPERATIONAL WORKS APPROVAL ISSUE	-	-	20/12/2021
1	PRELIMINARY ISSUE	-	-	19/11/2021

Client Logo
-------------

Client	M K MIDDLETON
Project	18 OWEN STREET, SUBDIVISION 1 INTO 4
Title	SEWER RETICULATION PLAN AND LONG SECTION

Drawing No. ARO0114-C02

Drawn	MS	Designed	MS	Approved		Scale (A1 size)	AS SHOWN
Drawing Check		Design Check		RPEQ	Date		Drawing is not to be used for construction unless approved.



ARO

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ABN: 49 641 461 298

APPROVAL ISSUE

## 18 OWEN STREET, MOSSMAN (1 INTO 4) – ROL 2021\_4170/1 LOCAL DRAINAGE STUDY

The existing topography of 18 Owen Street is very flat with a slight fall to a low point at the rear of the allotment where the water ponds to approximately 200mm deep including across the neighbouring allotments before discharging into Owen Street as the lawful point of discharge.

### Catchment Boundaries

The existing allotment's predevelopment catchment is 0.30ha in size and has a single house located towards the front of the allotment.

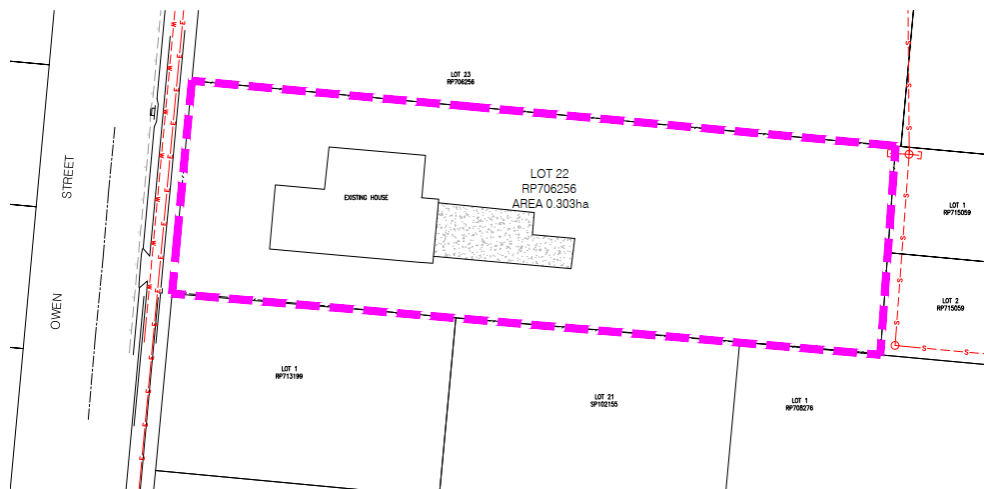


Figure 1: Pre Development Catchment

The post development catchment boundary for the driveway and new lots has been identified below and is approximately 0.212ha in size. It has been assumed that Lot 1's existing drainage philosophy remains.

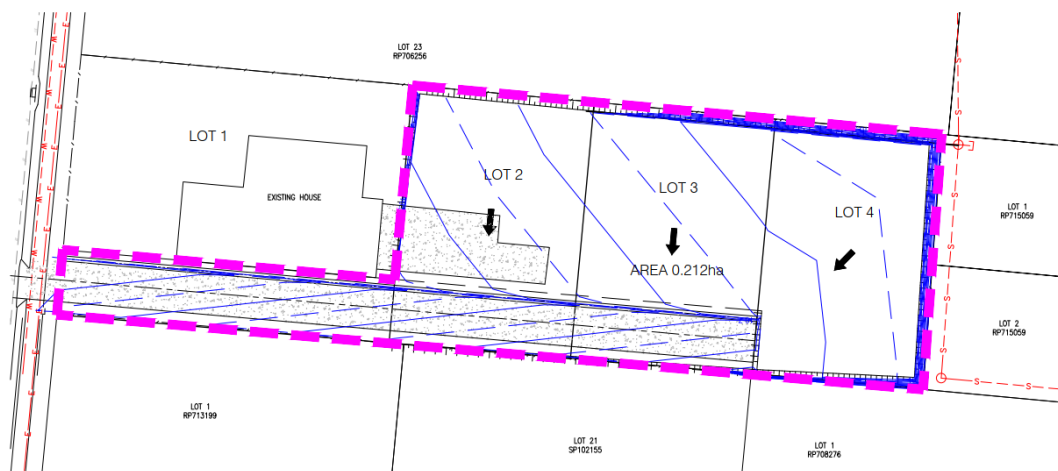


Figure 2: Post Development Catchment

## Flows

Stormwater flows from the catchment to Owen Street have been calculated for pre-development and post-development conditions as summarised in the table below.

Table 1: Pre and Post Development Flows

Point of Reference	Design storm (ARI years)	Pre-Development Peak Flow ( $m^3/s$ )	Post-Development Peak Flow ( $m^3/s$ )	Difference ( $m^3/s$ )
Owen Street	5	0.101	0.109	+0.008
	100	0.204	0.218	+0.014
Lots 2, 3 and 4	5	0.069	0.077	+0.008
	100	0.140	0.153	+0.013

From the table above it can be seen that there would be a minor increase in flows from the developed site in a 1% AEP. However, it is noted that currently the water ponds to the rear of the allotment and spreads to the neighbouring lots. Filling the allotments and directing the water towards Owen Street will reduce any ponding and subsequently reduce the nuisance from the adjoining allotments.

## Drainage Philosophy

Proposed lots 2, 3 and 4 are to be filled and provided with 0.5% fall to enable the stormwater runoff to be directed towards the proposed concrete driveway servicing the allotments. The driveway has layback kerb and channel and one-way crossfall to direct the stormwater flow to Owen Street. A grated drain will collect the stormwater and discharge it into the kerb and channel downstream of the driveway.

The capacity of the driveway at 0.5% grade and carrying the 1% AEP calculated as 0.153m<sup>3</sup>/s for Lots 2, 3 and 4 the depth of flow reaches approximately 0.108m deep.

driveway at 2.5% cross slope

Type: Cross Section

Define...

Side Slope 1 (Z1): 0.0 H : 1V

Side Slope 2 (Z2): 0.0 H : 1V

Channel Width (B): 0.0 (m)

Pipe Diameter (D): 0.0 (m)

Longitudinal Slope: 0.005 (m/m)

☐ Override Default
 

Manning's Roughness: 0.0130

☐ Use Lining
 

Lining Type: Woven Paper Net

☒ Enter Flow: 0.153 (cms)
 ☐ Enter Depth: 0.108 (m)

Calculate

Plot...

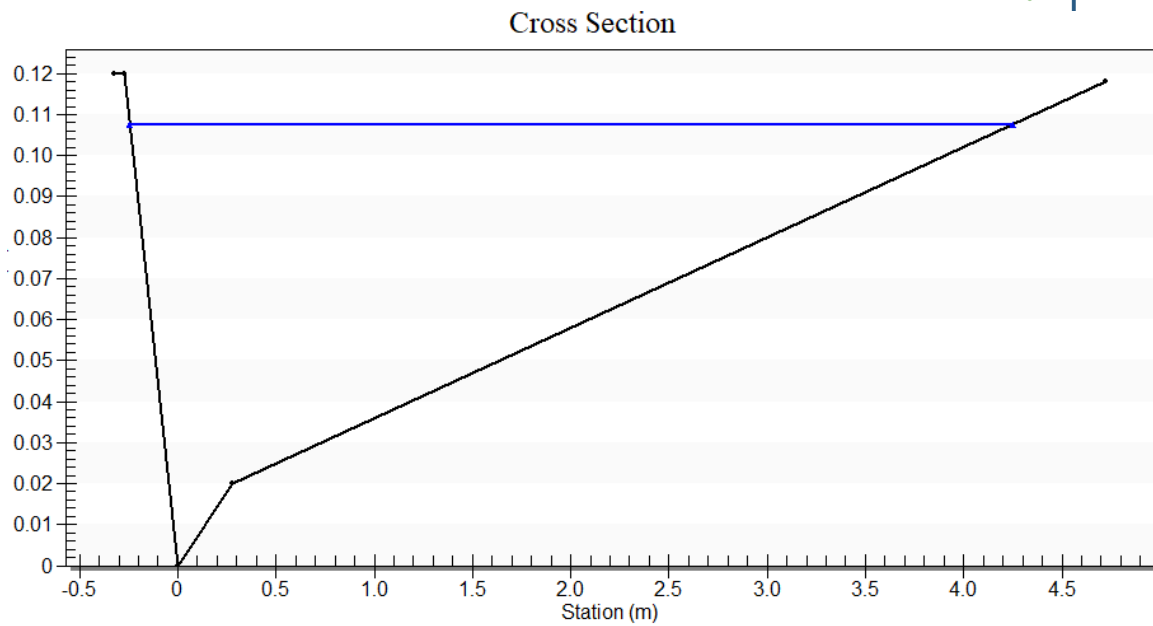
Compute Curves...

Parameter	Value	Units
Flow	0.153	cms
Depth	0.108	m
Area of Flow	0.215	m <sup>2</sup>
Wetted Perimeter	4.519	m
Hydraulic Radius	0.047	m
Average Velocity	0.713	m/s
Top Width (T)	4.495	m
Froude Number	1.042	
Critical Depth	0.109	m
Critical Velocity	0.690	m/s
Critical Slope	0.00458	m/m
Critical Top Width	4.570	m
Calculated Max Shear Stress	5.277	N/m <sup>2</sup>
Calculated Avg Shear Stress	2.327	N/m <sup>2</sup>
Composite Manning's n Equ...	Lotter ...	
Manning's Roughness	0.0130	

OK

Cancel





### Conclusion

The design has been undertaken in a manner to achieve compliance generally in accordance with the FNQROC Guidelines and the Queensland Urban Drainage Manual (QUDM). The development provides for a positive solution to the nuisance ponding which occurs to the rear of the allotment and its adjoining neighbours by directing the flow from the site to Owen Street.

## **18 OWEN STREET, MOSSMAN (1 INTO 4) – ROL 2021\_4170/1 RESPONSE TO DEVELOPMENT CONDITIONS**

Following are responses to the conditions of the Decision Notice dated the 16<sup>th</sup> of September 2021 Douglas Shire Council reference ROL 2021\_4170/1.

### **Assessment Manager Conditions & Advice**

---

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with: -
  - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
  - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval.

*Noted*

### **Timing of Effect**

2. The conditions of the Development Permit must be affected prior to the approval and dating of the Plan of Survey, except where specified otherwise in these conditions of approval.

*Noted*

### **Water Supply and Sewerage Works**

3. Undertake the following water supply and sewerage works internal to the subject land:
  - a. Provide a single internal sewer connection to each lot in accordance with the FNQROC Development Manual.

*The existing council sewer located at the rear of the allotment has an existing 150mm dia stub into the existing manhole MH28/2B. It is proposed as part of this development to connect to this stub and construct a 150mm dia main on FNQROC Standard alignment at the rear of the four proposed allotments. Refer Sewer Plan and Long section on Drg ARO0114-C02.*
  - b. Provide a single water connection to each lot in accordance with the FNQROC Development Manual.

*Existing council water main is located within Owen Street at the front of the development. It is proposed to provide a connection to each allotment via combined trenches either side of the driveway. Refer Typical Driveway Section on Drg ARO0114-C01.*
  - c. The sewer design plans are required to demonstrate that the sewer alignments achieve the separation and setback distances from buildings, structures and boundaries in accordance with FNQROC Development Manual and Water and Sewerage Authority (WASA) guidelines.

*It is proposed to construct the sewer on the standard FNQROC alignment; however this will be confirmed prior to construction.*

- d. Where the sewer is not proposed to be constructed in the subject site, owners' consent will be required for the works. The alignment and design of the sewer augmentation will need to form part of the Development Application for Operational Works.

*Noted – Council records indicate the stub is located on the subject land however confirmation of this will be determined prior to construction.*

- e. All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to the signing and dating of the Plan of Survey.

*Noted*

### **Drainage Study of Site**

4. Undertake a local drainage study on the subject land to determine drainage impacts on the land and the downstream properties and the mitigation measures required to minimise such impacts and achieve a lawful point of discharge for the new lots. In particular, the study must address the following:
  - a. The contributing catchment boundaries, including non-concentrated flows from surrounding properties.
  - b. Identify any requirement for drainage easements.
  - c. Identify low paths and general lot drainage direction to ensure all proposed lots (including the existing house lot) are provided a lawful point of discharge.
  - d. Information on proposed works and any impacts proposed at the drainage outlet from the proposed development.

All stormwater drainage works must be designed and constructed in accordance with the FNQROC Development Manual.

The drainage study must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Operational Work. All identified work must be satisfactorily completed prior to the endorsement of the Plan of Survey.

*Local Drainage study of the site has been undertaken and is attached to this application.*

### **Easements**

5. For any proposed easements a copy of the easement documents must be submitted to Council for the approval of Council's solicitors at no cost to Council. The approved easement documents must be submitted at the same time as seeking approval and dating of the Plan of Survey and must be lodged and registered with the Department of Resources in conjunction with the Plan of Survey.

*Noted. The easement has been identified on the plans attached as part of the application and the easement documentation will be lodged accordingly.*

### **General External Works**

6. Undertake the following external works: -
  - a. Upgrade the vehicle crossing to be in accordance with FNQROC Development Manual Standard Drawing S1015 E.

*A 5.0m wide vehicle crossing to match the width of the proposed driveway has been proposed on the drawings.*

### Electricity and Telecommunications

7. Written evidence of negotiations with Ergon Energy and the telecommunication authority must be submitted to Council stating that both an underground electricity supply and telecommunications service will be provided to the development prior to the endorsement of the Plan of Survey.

*Noted: Electrical and telecommunications service will be submitted in a separate submission.*

### Vehicle Access

8. Provide a vehicle access leg in accordance with the following specifications.
  - a. Pavement treatment must be of concrete or bitumen for the full length of Easement A and B.
  - b. Pavement treatment must be for a width of no less than 5000mm for Easement A and B.
  - c. Reciprocal access and services easements are to be established over Lots 2 and 3 in favour of Lots 3 and 4 as proposed.
  - d. Easement documents must be submitted to Council for the approval of Council's solicitors at no cost to Council. The approved easement documents must be submitted at the same time as seeking approval and dating of the Plan of Survey and must be lodged and registered with the Department of Resources in conjunction with the Plan of Survey.

Plans demonstrating compliance with the above requirements must be submitted with the Operational Works Development Application for approval. All access works must be completed prior to the endorsement of the Plan of Survey.

*A 5.0m wide concrete driveway has been proposed for the full length of the easement to service allotments 2 to 4. Easement documentation will be lodged accordingly. Refer Drg ARO0114-C01 for plan and details of the proposed driveway.*

## FNQROC DEVELOPMENT MANUAL

Council Douglas Shire Council  
(INSERT COUNCIL NAME)

### STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development .....

Location of Development 18 Owen Street, Mossman

Applicant M K Middleton

Designer ARO Industries

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	Compliant
Geotechnical requirements	N/A
Geometric Road Design	N/A
Pavements	N/A
Structures / Bridges	N/A
Subsurface Drainage	N/A
Stormwater Drainage	N/A
Site Re-grading	Compliant
Erosion Control and Stormwater Management	Compliant
Pest Plant Management	N/A
Cycleway / Pathways	N/A

Landscaping	N/A
Water Source and Disinfection/Treatment Infrastructure (if applicable)	N/A
Water Reticulation, Pump Stations and water storages	N/A
Sewer Reticulation and Pump Stations	Refer Supporting Information
Electrical Reticulation and Street Lighting	Refer Supporting Information
Public Transport	N/A
Associated Documentation/ Specification	Compliant
Priced Schedule of Quantities	N/A
Referral Agency Conditions	N/A
Supporting Information (AP1.08)	Compliant, Refer Supporting Information Report
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

**Designer** ARO Industries ..... **RPEQ No** 8452 .....

**Name in Full** Rudd Rankine .....

**Signature**  ..... **Date** 17/12/2021 .....