

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Rainforest Rescue C\ Barlow Shelley Consulting Engineers
Contact name (only applicable for companies)	Cameron Landreth
Postal address (P.O. Box or street address)	PO Box 899
Suburb	Maroochydore
State	QLD
Postcode	4558
Country	Australia
Contact number	07 5443 8285
Email address (non-mandatory)	office@barlowshelley.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	2170

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		1506	Cape Tribulation Rd	Cow Bay
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		551	RP748411	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Native Plant Nursery

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input checked="" type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input checked="" type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input checked="" type="checkbox"/> Other – please specify: Vehicle Access		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	
<input checked="" type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$220,000

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>)
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<p>Note: By not agreeing to accept an information request I, the applicant, acknowledge:</p> <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. <p>Further advice about information requests is contained in the DA Forms Guide.</p>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	CA 2022_4621/1	27 th April, 2022	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000?**

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works?**

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☒ Yes

☐ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

PROPOSED PLANT NURSERY
AT 1506 CAPE TRIBULATION ROAD, COW BAY
FOR RAINFOREST RESCUE
JOB No. 2170



LOCALITY PLAN
NOT TO SCALE

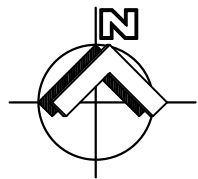
SCHEDULE OF DRAWINGS	
DWG	DESCRIPTION
2170-R01	Locality Plan & Schedule Of Drawings
2170-R02	Existing Site Conditions
2170-R03	Overall Layout Plan
2170-R04	Earthworks Layout Plan
2170-R05	Earthworks Sections
2170-R06	Roadworks And Stormwater Drainage Detail Plan
2170-R07	Bio Retention Basin Layout Plan Details And Sections
2170-R08	Stormwater Drainage Catchments
2170-R09	Stormwater Drainage Details
2170-R10	Vehicle Turning Templates and Pavement Design

PROPERTY DESCRIPTION
LOT 551 on RP745411
CNR CAPE TRIBULATION & BUCHANAN CREEK
ROADS, COW BAY
Site Area (Part Lot) = 2.075 Ha = 1.6% TOTAL SITE

**ISSUED FOR
CONSTRUCTION**

CAUTION - EXISTING SERVICES
THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION OF
ALL EXISTING SERVICES IN THE VICINITY OF THE PROPOSED
WORKS PRIOR TO THE START OF ANY CONSTRUCTION. THE
COST OF ANY RECTIFICATION WORKS DUE TO DAMAGE OF
EXISTING SERVICES SHALL BE BORNE BY THE CONTRACTOR.

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS	SCALE	APPROVED	PROJECT:	JOB NUMBER
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM AHD DESIGN KE DRAWN KE DESIGN CHECK CL DATE 12-08-2022	NOT TO SCALE	Director: CAMERON LANDRETH (RPEQ 19358)	PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFOREST RESCUE	2170
								DRAWING TITLE: LOCALITY PLAN & SCHEDULE OF DRAWINGS	SHEET: 1 OF 10
									DRAWING NUMBER REV R01 1



CAPE TRIBULATION
ROAD

EXISTING LEGEND

- EXISTING TREE
- EXISTING CHANNEL / SWALE
- EXISTING EDGE OF BITUMEN
- EXISTING SURFACE CONTOURS
- EXISTING BUILDING
- EXISTING TOP OF BANK
- EXISTING GRAVEL TRACK / DRIVEWAY
- EXISTING LINE OF VEGETATION

EXISTING
2.0m WIDE
CONCRETE
FOOTPATH

EXISTING BITUMEN PAVEMENT

EXISTING BOUNDARY

EXISTING GATE
(TO BE REUSED)

GRAVELED
ACCESS

EXISTING
HOUSE

(B)

REMOVE
EXISTING
TREE

EXISTING OPEN
STEEL SHED TO
BE REMOVED

EXISTING WATER BORE
AND SOLAR PUMP

EXISTING
SOLAR
ARRAY

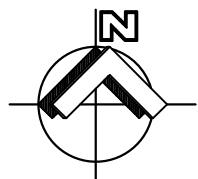
EXISTING GENERAL
STORAGE SHED /
BATTERY BANK

EXISTING GENERATOR SHED

DASHED LINE INDICATES
NURSERY LEASE AREA

**ISSUED FOR
CONSTRUCTION**

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS		SCALE	APPROVED	 <div>Barlow Shelley CONSULTING ENGINEERS p 07 5443 8285 e office@barlowshelley.com.au w www.barlowshelley.com.au a PO Box 899 Maroochydore 4558 ABN 89 215 591 077</div>	PROJECT: PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFOREST RESCUE		JOB NUMBER 2170		
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM	AHD	 SCALE 1:500 A3	 Director: CAMERON LANDRETH (RPEQ 19358)		SHEET: 2 OF 10		DRAWING NUMBER		REV
					DESIGN	KE						R02	1	
					DRAWN	KE								
					DESIGN CHECK	CL								
					DATE	12-08-2022	This drawing is not to be copied or amended without written permission from Barlow Shelley Consulting Engineers							



SHADING INDICATES 10.0m WIDE LANDSCAPING BUFFER TO BE RE-VEGETATED. REFER TO LANDSCAPE ARCHITECT DOCUMENTS FOR FURTHER DETAILS. 700m²

CHAINWIRE SECURITY FENCE TO WESTERN BOUNDARY OF LEASE AREA

CAPE TRIBULATION ROAD

CONSTRUCT NEW 6.0m WIDE DRIVEWAY ACCESS TO LEVELS AS SHOWN MATCHING NEATLY INTO EXISTING SEALED SURFACE. GENERALLY IN ACCORDANCE WITH FNQROC STD DWG S1105. SEALED SECTION TO EXTEND 10m INTO PROPERTY AS SHOWN.

SHADING INDICATES 10.0m WIDE LANDSCAPING BUFFER TO BE RE-VEGETATED. REFER TO LANDSCAPE ARCHITECT DOCUMENTS FOR FURTHER DETAILS. 370m²

OUTLET PIPE 12.0m MIN. TO EXISTING LOW POINT COMPLETE WITH HEADWALL AND ROCK SCOUR PROTECTION. EXCAVATE VEE OPEN DRAIN TO EXISTING SURFACE AT 0.5% MIN. 1 in 6 SIDES MAX UNTIL IT DAYLIGHTS (TO BE CONFIRMED ON SITE). ENSURE FREE DRAINING OF OUTLET.

PROPOSED PHYTO-REMEDICATION BASIN
20.0m x 10.0m x 0.9m DEEP
SL RL16.65, BUND 17.55

DASHED LINE INDICATES NURSERY LEASE AREA WHICH IS TO BE FENCE WITH 1.8m HIGH CHAIN WIRE FENCE (BY OTHERS). FINAL LOCATION TO BE DETERMINED ON SITE

MEGAFLOW UNDER-DRAINAGE, REFER TO DWG 2170 R09 FOR DETAILS

LEGEND

- PROPOSED BUILDINGS / STRUCTURES
- PROPOSED 2 COAT BITUMEN SEAL DRIVEWAY
- PROPOSED GRAVEL DRIVEWAY
- PROPOSED GRAVEL GROW AREA
- PROPOSED FOOTPATH
- PROPOSED BIORETENTION BASIN
- PROPOSED KERB AND CHANNEL
- PROPOSED MEGAFLOW UNDER DRAINAGE
- PROPOSED STORMWATER DRAINAGE

ABLUTIONS BLOCK COMPOST TOILET WITH LEACH FIELD AS PER MANUF. SPEC.

EXISTING WATER BORE AND SOLAR PUMP

WATER STORAGE FOR NURSERY USE (EXISTING 3 x 27.5 KL TANKS)

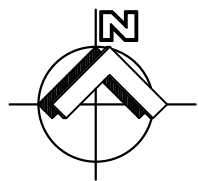
EXISTING SOLAR ARRAY

EXISTING GENERATOR SHED

EXISTING GENERAL STORAGE SHED / BATTERY BANK

ISSUED FOR CONSTRUCTION

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS	SCALE	APPROVED	PROJECT:	JOB NUMBER
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM AHD	0 5.0 10 15 20 25m	Director: CAMERON LANDRETH (RPEQ 19358)	PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFOREST RESCUE	2170
					DESIGN KE	SCALE 1:500 A3			SHEET: 3 OF 10
					DRAWN KE			DRAWING TITLE:	DRAWING NUMBER
					DESIGN CHECK CL			OVERALL LAYOUT PLAN	REV
					DATE 12-08-2022				R03 1



SHADING INDICATES 10.0m
WIDE LANDSCAPING BUFFER
TO BE RE-VEGETATED.
REFER TO LANDSCAPE
ARCHITECT DOCUMENTS
FOR FURTHER DETAILS.
700m2

CAPE TRIBULATION
ROAD

EXISTING BOUNDARY

EXISTING BOUNDARY

EXISTING BOUNDARY

EXISTING GATE

EXISTING HOUSE

NEW SHED

PROPOSED SHADEHOUSE

PROPOSED PROPAGATION
HOUSE

EXISTING GENERAL
STORAGE SHED /
BATTERY BANK

EXISTING GENERATOR SHED

EXISTING SOLAR
ARRAY

OUTDOOR
GROWING AREA

OUTDOOR
GROWING AREA

EXCAVATE OPEN DRAIN FROM PROPOSED
STORMWATER WEIR OUTLET TO EXISTING
NATURAL CHANNEL AS SHOWN @ 0.5% MIN
GRADE TO ENSURE NO PONDING COMPLETE
WITH 1 IN 4 SIDES TO NSL AS DIRECTED ON SITE

PROPOSED PHYTO-
REMEDATION BASIN
20.0m x 10.0m x 0.9m DEEP
SL RL16.65, BUND 17.55

BATTER DOWN TO N.S.L.
AT 1 in 4 MAX (TYPICAL).

LEGEND

- PROPOSED SURFACE LEVELS
- EXISTING SURFACE LEVELS
- PROPOSED EARTHWORKS
FILL 0.5m TO 1m DEEP
- PROPOSED EARTHWORKS
FILL 0.1m TO 0.5m DEEP
- PROPOSED EARTHWORKS
CUT 0.1m TO 0.5m DEEP
- PROPOSED EARTHWORKS
CUT 0.5m TO 1m DEEP
- PROPOSED EARTHWORKS
CUT 1.0m TO 1.5m DEEP
- PROPOSED DRAIN
- PROPOSED EARTHWORKS BATTER
- NATURAL SURFACE CONTOURS
- FINISHED SURFACE CONTOURS
- EXISTING STORMWATER
- PROPOSED STORMWATER
- PROPOSED CONSTRUCTION ENTRY / EXIT
- PROPOSED AREAS OF STABILISATION
- PROPOSED GULLY PIT SEDIMENT
BARRIER
- ALLOTMENT PIT PROTECTION
- PROPOSED SEDIMENT FENCING
- OVERLAND FLOW PATH

**ISSUED FOR
CONSTRUCTION**

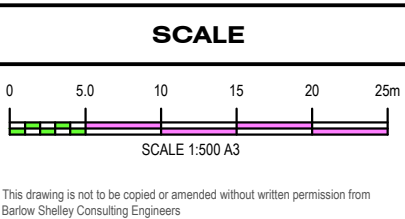
EARTHWORKS QUANTITIES:

CUT: -600m³
FILL: 990m³
BOXING (NURSERY): -600m³
(ASSUMED 150mm MIN to 300mm DEEP)
BOXING (D'WAY + PATH) -280m³
(ASSUMED 200mm DEEP MIN)
BIO BASIN -200m³
BALANCE: 690m³ (EXCESS)
(ALL MEASUREMENTS ARE SOLID VOLUMES)

NOTE: CUT AND FILL SHADING REPRESENTS
EARTHWORKS BETWEEN NATURAL SURFACE
AND FINAL SURFACE LEVELS.

NOTE
• CUT AND FILL SHADING REPRESENTS EARTHWORKS
BETWEEN NATURAL SURFACE AND BOXING
SURFACE LEVELS
• PAD LEVELS FOR GROW AREA 150mm BELOW FFL
• ROAD BOXING 200mm BELOW FINISH SURFACE
LEVELS SHOWN

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM AHD DESIGN KE DRAWN KE DESIGN CHECK CL DATE 12-08-2022



APPROVED

Director: CAMERON LANDRETH
(RPEQ 19358)

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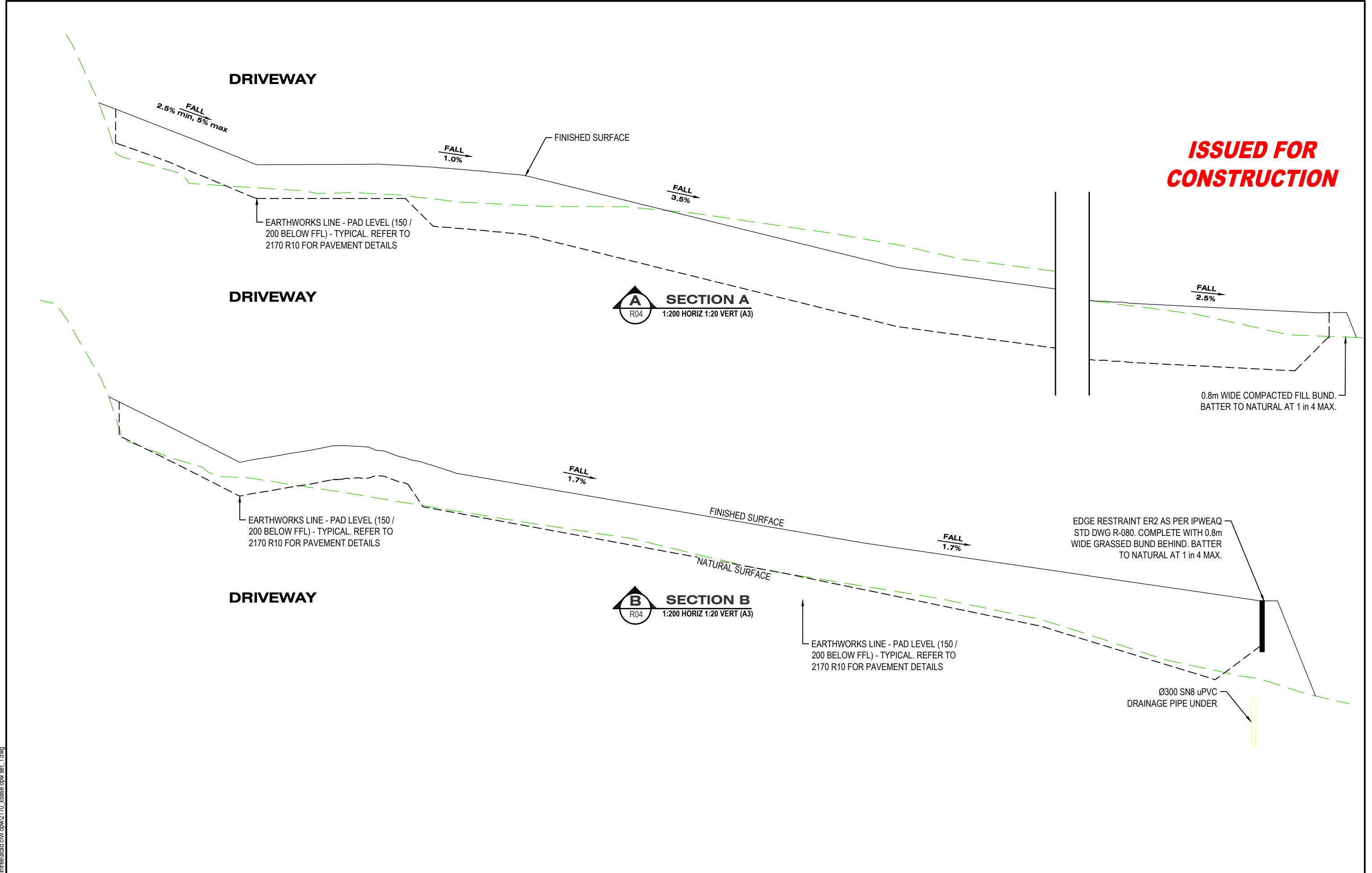
PROJECT:
**PROPOSED PLANT NURSERY
1506 CAPE TRIBULATION ROAD, COW BAY
RAINFOREST RESCUE**

DRAWING TITLE:
EARTHWORKS LAYOUT PLAN

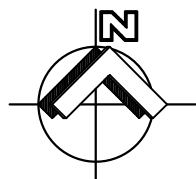
JOB NUMBER 2170	SHEET: 4 OF 10
DRAWING NUMBER R04	REV 1

a:\2170 - rainforest rescue nursery\drawings\civil\opw\2170_xbase.opw.scl_1.dwg

a:\2170 - rainforest rescue nursery d\mre\road civil\opw\2170_xbase opw set_1.dwg



REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS	SCALE	APPROVED	PROJECT:	JOB NUMBER
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM AHD	AS NOTED	<div>Director: CAMERON LANDRETH (RPEQ 19358)</div> <div></div> <div>Barlow Shelley CONSULTING ENGINEERS</div> <div>p 07 5443 8285 e office@barlowshelley.com.au w www.barlowshelley.com.au a PO Box 899 Maroochydore 4558 ABN 89 215 591 077</div>	PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFOREST RESCUE	2170
					DESIGN KE				SHEET: 5 OF 10
					DRAWN KE				
					DESIGN CHECK CL			DRAWING TITLE:	DRAWING NUMBER REV
					DATE 12-08-2022			EARTHWORKS SECTIONS	R05 1



SHADING INDICATES 10.0m WIDE LANDSCAPING BUFFER TO BE RE-VEGETATED. REFER TO LANDSCAPE ARCHITECT DOCUMENTS FOR FURTHER DETAILS. 700m2

CAPE TRIBULATION ROAD

CONSTRUCT NEW 6.0m WIDE DRIVEWAY ACCESS TO LEVELS AS SHOWN MATCHING NEATLY INTO EXISTING SEALED SURFACE. GENERALLY IN ACCORDANCE WITH FNQROC STD DWG S1105. SEALED SECTION TO EXTEND 10m INTO PROPERTY AS SHOWN.

RE-BUILD FOOTPATH APPROX. 10m EACH SIDE AS SHOWN MATCHING NEATLY INTO NEW DRIVEWAYS LEVELS AS PER FNQROC STD DWG S1035

SHADING INDICATES 10.0m WIDE LANDSCAPING BUFFER TO BE RE-VEGETATED. REFER TO LANDSCAPE ARCHITECT DOCUMENTS FOR FURTHER DETAILS. 370m2

SHADING INDICATES SEALED BITUMEN DRIVEWAY AS PER DETAIL ON DWG 2170 R10

EXCAVATE VEE OPEN DRAIN TO EXISTING SURFACE AT 0.5% MIN. 1 in 6 SIDES MAX UNTIL IT DAYLIGHTS (TO BE CONFIRMED ON SITE). ENSURE FREE DRAINING OF OUTLET.

MEGAFLOW UNDER-DRAINAGE, REFER TO DWG 2170 R09 FOR DETAILS

OUTDOOR GROWING AREA 3000m²

PROPOSED SHADEHOUSE 32.4m x 21.0m 680m²

PROPOSED PHYTO-REMEDICATION BASIN 20.0m x 10.0m x 0.9m DEEP SL RL.16.65, BUND 17.55

SHADING INDICATES GRAVEL GROW AREA AS PER DETAIL ON DWG 2170 R10 COMPLETE WITH ER2 EDGE RESTRAINT BOUNDING TO PERIMETER (TYPICAL).

LEGEND

- PROPOSED BUILDINGS / STRUCTURES
- PROPOSED 2 COAT BITUMEN SEAL DRIVEWAY
- PROPOSED GRAVEL DRIVEWAY
- PROPOSED GRAVEL GROW AREA
- PROPOSED FOOTPATH
- PROPOSED BIORETENTION BASIN
- PROPOSED KERB AND CHANNEL
- PROPOSED MEGAFLOW UNDER DRAINAGE
- PROPOSED STORMWATER DRAINAGE
- PROPOSED STORMWATER OVERLAND FLOW

ABLUTIONS BLOCK COMPOST TOILET WITH LEACH FIELD AS PER MANUF. SPEC.

EXISTING WATER BORE AND SOLAR PUMP

PUMP HOUSE

WATER STORAGE FOR NURSERY USE (EXISTING 3 x 22.5KL TANKS)

ISSUED FOR CONSTRUCTION

NOTE: ALL INTERNAL GRATED INLET PITS IN CARPARK TO HAVE 1500 STUBS PROVIDE FOR ROOF WATER CONNECTION (BY OTHERS).

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS	SCALE	APPROVED	PROJECT:	JOB NUMBER
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM AHD	0 5.0 10 15 20 25m		PROPOSED PLANT NURSERY	2170
					DESIGN KE	SCALE 1:500 A3		1506 CAPE TRIBULATION ROAD, COW BAY	SHEET: 6 OF 10
					DRAWN KE			RAINFORREST RESCUE	DRAWING NUMBER
					DESIGN CHECK CL			DRAWING TITLE:	REV
					DATE 12-08-2022			ROADWORKS AND STORMWATER DRAINAGE	R06
								DETAIL PLAN	1

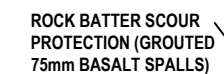
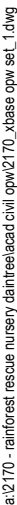
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a PO Box 899 Maroochydore 4558 ABN 89 215 591 077

PROJECT: PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFORREST RESCUE

DRAWING TITLE: ROADWORKS AND STORMWATER DRAINAGE DETAIL PLAN



1:100 (A3)



NOT TO SCALE

PIPE JOINTS SHALL BE GLUED USING PLUMBING CEMENT. FILTER SOCKS NOT TO BE USED. UNDER-DRAINAGE PIPES SHALL BE SEALED INTO PITS USING GROUT OR APPROVED WATERTIGHT SEAL.

NTS



NOT TO SCALE



NOT TO SCALE

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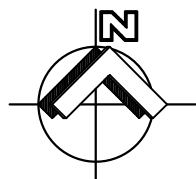
Director: CAMERON LANDRETH
(RPEQ 19358)



DRAWING TITLE:

SHEET: 7 OF 10

DRAWING NUMBER	REVISION
R07	1



SHADING INDICATES 10.0m
WIDE LANDSCAPING BUFFER
TO BE RE-VEGETATED.
REFER TO LANDSCAPE
ARCHITECT DOCUMENTS
FOR FURTHER DETAILS.
700m2

CAPE TRIBULATION
ROAD

EXISTING BOUNDARY

OUTDOOR
GROWING
AREA

PROPOSED
SHADEHOUSE

PROPOSED
PROPAGATION
HOUSE

NEW SHED
9.0m x 7.0m

OLD SHED
(REPLACED)

EXISTING
HOUSE

C1

C2

EXISTING GENERAL
STORAGE SHED /
BATTERY BANK

EXISTING
SOLAR
ARRAY

EXISTING GENERATOR SHED

MEGAFLOW UNDER-DRAINAGE
MAINLINE MEG450G WITH
MEG300G AT 5.0m CRS MAX
OVER ENDURASEAL
GEOFABRIC UNDERLAY

EXISTING LEGEND

- SW — SW — EXISTING STORMWATER PIPE
- S — S — EXISTING SEWER MAIN
- W — W — EXISTING WATER MAIN
- V — V — EXISTING ELECTRICITY-OVERHEAD
- E — E — EXISTING ELECTRICITY-UNDERGROUND
- T — T — EXISTING TELECOMMUNICATION
- (Tree Symbol) — EXISTING TREE
- (Channel Symbol) — EXISTING CHANNEL / SWALE
- (Edge Symbol) — EXISTING EDGE OF BITUMEN
- (Contours Symbol) — EXISTING SURFACE CONTOURS

- EXISTING TOP OF BANK
- EXISTING KERB

LEGEND

- PROPOSED BUILDINGS / STRUCTURES
- PROPOSED 2 COAT BITUMEN SEAL DRIVEWAY
- PROPOSED GRAVEL DRIVEWAY
- PROPOSED GRAVEL GROW AREA
- PROPOSED FOOTPATH
- PROPOSED BIORETENTION BASIN
- PROPOSED KERB AND CHANNEL
- PROPOSED MEGAFLOW UNDER DRAINAGE
- STORMWATER CATCHMENT BOUNDARY
- FINISH SURFACE CONTOURS (MAJOR)
- Q100 OVERLAND FLOW PATH

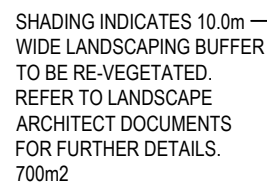
**ISSUED FOR
CONSTRUCTION**

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS	SCALE	APPROVED	PROJECT:	JOB NUMBER
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM AHD	0 5.0 10 15 20 25m	Director: CAMERON LANDRETH (RPEQ 19358)	PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFOREST RESCUE	2170
					DESIGN KE	SCALE 1:500 A3			SHEET: 8 OF 10
					DRAWN KE			DRAWING TITLE:	DRAWING NUMBER REV
					DESIGN CHECK CL			STORMWATER DRAINAGE CATCHMENTS	R08 1
					DATE 12-08-2022				

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MEGAFLOW UNDER-DRAINAGE MAINLINE MEG450G WITH
MEG170G SIDE LINES (OR ALTERNATIVELY 100Ø
SLOTTED PVC) AT 5.0m CRS MAX. OVER ENDURASEAL
GEOFABRIC UNDERLAY (OR APPROVED EQUIVALENT).

**CAPE TRIBULATION
ROAD**

EXISTING BOUNDARY

MEGAFLOW MEG170G

MEGAFLW MEG450G

600 x 600 G.I.P.
SL - 17.610
ILout - 16.735

CONNECT
NEW G.I.P.

600 x 600 G.I.P.
SL - 17.600
ILin - 16.700
ILout - 16.675

PROVISION FOR NEW —
WATER TANK - NOM.
(TBC ON SITE)

PROPOSED
SHADEHOUSE

PROPOSED
PROPAGATION
HOUSE

NEW SHED

EXISTING
HOUSE

600 x 600 G.I.P.
(CLASS D)
SL - 18.585
ILout - 17.750




EXISTING GENERATOR
STORAGE SHED
BATTERY BANK

EXISTING
SOLAR
ARRAY

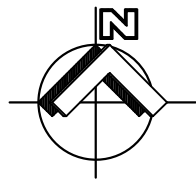
600 x 600 G.I.P.
(CLASS D)
SL - 18.400
ILin - 17.580
ILout - 17.555

- EXISTING GENERATOR SHED

***ISSUED FOR
CONSTRUCTION***

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS		SCALE	APPROVED	 <div><p>p 07 5443 8285 e office@barlowshelley.com.au w www.barlowshelley.com.au a PO Box 899 Maroochydore 4558 ABN 89 215 591 077</p></div>	PROJECT: PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFOREST RESCUE		JOB NUMBER 2170	
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM	AHD	 <p>SCALE 1:500 A3</p>	 Director: CAMERON LANDRETH (RPEQ 19358)		SHEET: 9 OF 10		DRAWING NUMBER	REV
					DESIGN	KE							
					DRAWN	KE							
					DESIGN CHECK	CL							
					DATE	12-08-2022	This drawing is not to be copied or amended without written permission from Barlow Shelley Consulting Engineers.					R09	1

p:\2170 - rainforest rescue nursery\daintree\acad\civil\opw\2170_xbase\opw_set_1.dwg



SHADING INDICATES 10.0m
WIDE LANDSCAPING BUFFER
TO BE RE-VEGETATED.
REFER TO LANDSCAPE
ARCHITECT DOCUMENTS
FOR FURTHER DETAILS.
700m2

CAPE TRIBULATION
ROAD

EXTEND OPEN GRAVEL
"GROW AREA" HARSTAND TO
ENABLE LOADING /
UNLOADING OF VEHICLES.
CONFIRM EXTENTS ON SITE

EXISTING BOUNDARY

EXISTING BOUNDARY

OUTDOOR
GROWING
AREA

PROPOSED
SHADEHOUSE

OUTDOOR
GROWING
AREA

PROPOSED
PROPAGATION
HOUSE

NEW
SHED

OLD
SHED

13.5m CARPARK

EXISTING
HOUSE

EXISTING
SOLAR
ARRAY

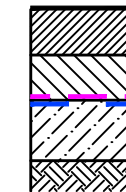
EXISTING GENERAL
STORAGE SHED /
BATTERY BANK

EXISTING GENERATOR SHED

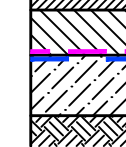
LEGEND



BITUMEN SEAL - PRIME & TWO COAT SEAL (16mm/10mm)



100mm BASE COURSE GRAVEL TYPE 2.1 CBR 80



100mm SUB-BASE COURSE GRAVEL TYPE 2.3 CBR 60



TENSAR TX160 OVER BIDIM A39 GEOFABRIC



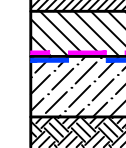
150mm LOWER SUB-BASE GRAVEL TYPE 2.5 OR SELECT CBR 15 MATERIAL

NATURAL SUBGRADE - CBR = 4% MIN. (TYPICAL)

LEGEND



100mm BASE COURSE GRAVEL TYPE 2.1 CBR 80



100mm SUB-BASE COURSE GRAVEL TYPE 2.3 CBR 60



TENSAR TX160 OVER BIDIM A39 GEOFABRIC



150mm LOWER SUB-BASE GRAVEL TYPE 2.5 OR SELECT CBR 15 MATERIAL

NATURAL SUBGRADE - CBR = 4% MIN. (TYPICAL)

LEGEND



350-500mm BLUE METAL BASE GRAVEL - 10-20mm



EnduraSeal GEOFABRIC UNDERLAY



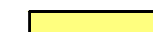
NATURAL SUBGRADE - CBR = 4% MIN. (TYPICAL)

PAVEMENT SPECIFICATION

PAVEMENT NOTES:

- DESIGN PAVEMENT DEPTH HAS BEEN BASED ON AN ASSUMED CBR 4 SUBGRADE
DESIGN AS PER DOUGLAS PARTNERS REPORT 212778.00, DATED JULY 2022.
- NOTIFY ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT OF WORK WITHIN
EXISTING ROAD RESERVES.

LEGEND



PROPOSED BUILDINGS / STRUCTURES



PROPOSED 2 COAT BITUMEN SEAL DRIVEWAY



PROPOSED GRAVEL DRIVEWAY



PROPOSED GRAVEL GROW AREA

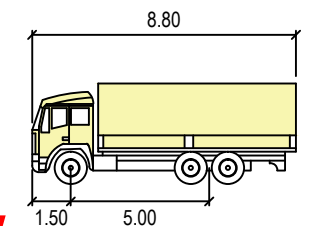


PROPOSED FOOTPATH



PROPOSED BIORETENTION BASIN

**ISSUED FOR
CONSTRUCTION**



MRV-AS2890.2 meters
Width : 2.50
Track : 2.50
Lock to Lock Time : 6.00
Steering Angle : 34.4

**SERVICE VEHICLE (MRV)
MEDIUM RIGID VEHICLE**

REV	DATE	DESCRIPTION	BY	CHKD	DRAWING DETAILS
1	12-08-2022	FOR CONSTRUCTION / COUNCIL APPROVAL	KE	CL	DATUM AHD
					DESIGN KE
					DRAWN KE
					DESIGN CHECK CL
					DATE 12-08-2022

SCALE
0 5.0 10 15 20 25m
SCALE 1:500 A3

APPROVED
Director: CAMERON LANDRETH (RPEQ 19358)

**Barlow
Shelley**
CONSULTING ENGINEERS

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PROJECT: PROPOSED PLANT NURSERY 1506 CAPE TRIBULATION ROAD, COW BAY RAINFOREST RESCUE
DRAWING TITLE: VEHICLE TURNING TEMPLATES AND PAVEMENT DESIGN

JOB NUMBER 2170
SHEET: 10 OF 10
DRAWING NUMBER R10
REV 1