

11 July 2023

Enquiries: Neil Beck
Our Ref: OP 2023_5438/1 (1168266)
Your Ref: 026-2201

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Jonpa Pty Ltd
C/- Neon Consulting
11 Rosemont Court
MOOROOBOOL QLD 4870

Email: craig@consultneon.com.au

Dear Craig

CONFIRMATION NOTICE & INFORMATION REQUEST

Council refers to the development application lodged with the Douglas Shire Council. This notice confirms that the following development application was properly made on 19 June 2023 pursuant to section 51(5) of the *Planning Act 2016*.

Applicant Details

Name: Jonpa Pty Ltd
Postal Address: C/- Neon Consulting
11 Rosemont Court
MOOROOBOOL QLD 4870
Email: craig@consultneon.com.au or johnechivers@gmail.com

Property Details

Street Address: Bayil Drive BONNIE DOON
Real Property Description: LOT: 905 SP: 285536
Local Government Area: Douglas Shire Council

Application Details

Application Number: OP2023_5438/1
Approval Sought: Development Permit
Nature of Development Proposed: Operational Works
Description of the Development Proposed: Operational Works (Ocean Breeze Estate - Stages 3A2 and 3B)

Public Notification Details

The application is not required to be publicly notified.

Referral Details

The Application does not require referral to any referral agencies.

Information request

The following further information is required in order for Council to complete the assessment of the proposed works:-

Earthworks

1. Clarification is required for the treatment and ongoing operation of the drainage path along the eastern boundary of lots 7 to 16 in particular.

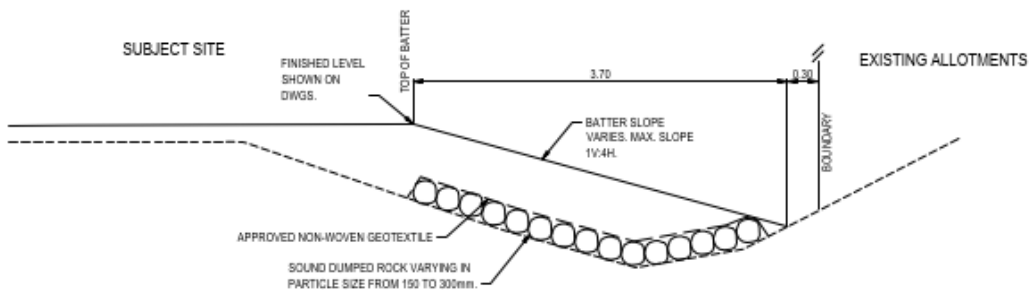


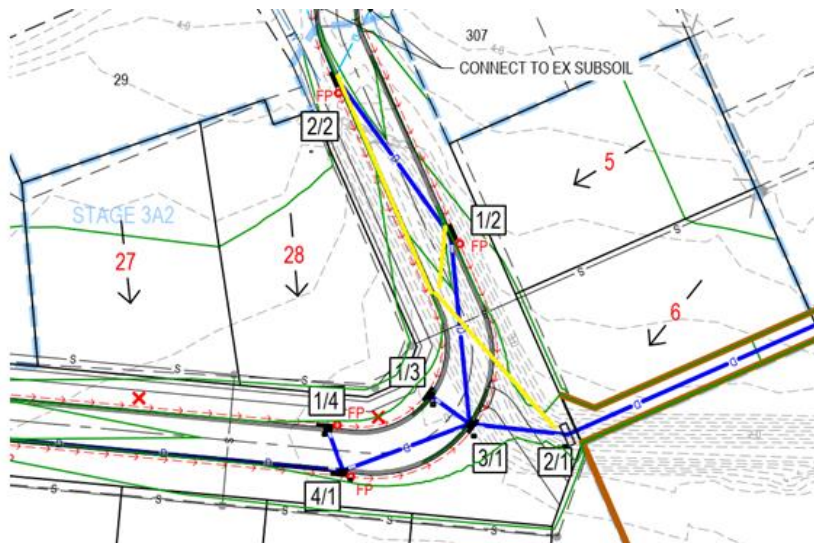
Figure 1: Cross section of batter

- a. Concern is raised with the resulting drain invert now shown as being offset 0.3 m from the property boundary compared to the existing offset of approximately 2 m. The applicant is to demonstrate how the invert will be protected and not filled over by future owners.
- b. Confirm that there is no adverse flooding impact to existing properties along the boundary due to flow within this drain being reduced.
- c. Clarify how the resulting drainage path will drain freely given that the levels provided in the Civil Engineering Drawings indicate sag points along the boundary of the development and existing Lots. The applicant is to demonstrate how free draining conditions will be maintained.
- d. Confirm that the slope of the batter at the rear of Lots 7 to 16 along the eastern boundary of the development maintains the maximum slope of 1 in 4 as detailed in the Civil Engineering Drawings (maximum slope of 1 in 4 as stated in the typical cross section provided; see figure 1).

Stormwater

2. The proposed grade of Road F between the Chainages 75 to 251.124 is shown in the Longitudinal Section provided as being graded to 0.3%. Reference is made to FNQROC D1.06 which states that road "A general minimum gradient of 0.5 per cent should be adopted for all roads, which will ultimately include kerb and channel. In very flat conditions where approved by Council it may be reduced to 0.3 per cent." The applicant is requested to clarify the reasons for the reduction to the minimum 0.3% grade. For the 0.3% road grade, the capacity of the road to convey the Major event flows is to be confirmed.

3. The Stormwater Calculations report identifies non-compliance (ponding depth) in the Minor event. The report addresses the flow depths for the overtopping in the Minor event. The applicant is to provide calculations for the 1% AEP (Major) event, including flow depths and velocities to enable consideration of the outcome proposed.
4. It is acknowledged that the applicant has provided advice on the 1% AEP flow for the critical location of Melaleuca Drive in the Stormwater Calculations report. It is requested that the applicant clarify that the flow depths for the 1% AEP event along Melaleuca Drive remain trafficable. An annotated plan with road flow depths would assist to address this query.
5. Subject to the advice in 4 above, confirm road signage required to inform traffic (for example “Road subject to flooding” or similar).
6. Explore rationalising stormwater pits 2/2, 1/2, and 3/1 to improve drainage.



Kerb Grades

7. The applicant is requested to review the proposed grade of kerb at the crest of the cul-de-sac. Levels provided on the Intersection Details sheet of the Civil Engineering Drawings indicate that the kerb grade at the crest of the cul-de-sac drops below the 0.3% minimum grade. The Applicant is requested to demonstrate the minimum grade is achieved as stipulated in FNQROC D1.06.
8. Attention is brought to the grade of the proposed on the outside of the curve between Chainages 210 and 240. The road centreline is shown as having a grade of 0.3%, meaning the kerb grade on the outside of the kerb is less. A check of the levels appears to indicate that this is the case. The applicant is requested to confirm that the minimum grade is maintained along the kerb between Chainages 210 to 240.

Infrastructure

9. The applicant is to confirm the clearances and services alignments where the twin 1050mm diameter RCPs cross existing infrastructure on Cooya Beach Road. The existing water main is shown on the General Arrangement Plan close to the proposed stormwater crossing location, as well as existing streetlighting and electrical pillar.

It is requested that the services and clearances be shown on the Stormwater Long Sections provided to demonstrate works are outside of the zone of influence of existing

infrastructure. The applicant is also requested to demonstrate how the scheduling of works will take place.

Advice Note: Council will likely condition a detailed staging plan for the construction of the development.

10. Extend concrete footpath to the head of the cul-de-sac and increase width to 2m.
11. With reference to the cross section (in Figure 2 below) for the twin 1050 RCPs between Manhole 2/1 and 1/1. The applicant is to confirm the zone of interference for the RCPs and demonstrate that there is no impact on the above infrastructure. The applicant is to confirm the zone of impact for the RCPs and demonstrate that there are no restrictions on adjacent lots and/or no impact to replacement of pipes in the future. The depth of the RCPs are not provided on the cross section to determine zone of influence.

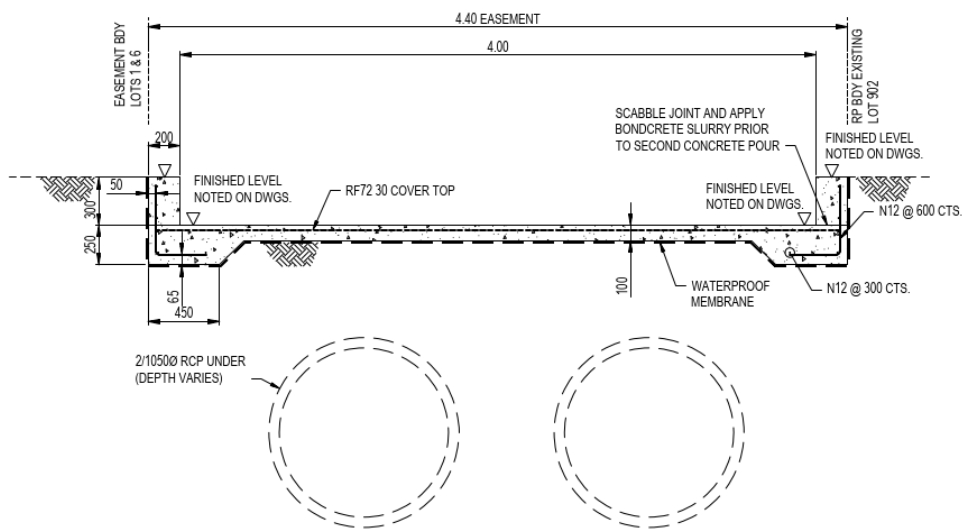


Figure 2: Cross Section of Twin 1050 RCPs between Manhole 2/1 and 1/1

Landscaping

12. Provide a landscape plan detailing the landscaping to be installed and location of street trees having regard to the location of services.

Other Details

Please quote Council's application number: OP 2023_5438 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Neil Beck on telephone 07 4099 9451.

Yours faithfully

For
Paul Hoyer
Manager Environment & Planning