

Ref: 230-005-001L

14 February 2024

Development Assessment  
Douglas Shire Council  
119-145 Spence Street  
Mossman Qld 4873  
via email: enquires@douglas.qld.gov.au

**Marine Parade, Newell Beach  
(Lot 2 on RP715391 and Lot 5 on SP301696)  
Operational Works Application**

We refer to the abovementioned land parcel associated with Council development approval ROL 2023\_5540/1 dated 9 February 2024 and enclose the attached operational works application associated with civil works. We enclose the following:

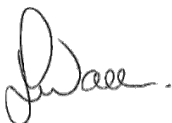
- DA Form 1 – Development Application Details.
- Statement of Compliance Operational Works Design.
- Set of project drawings.
- Priced Schedule of Quantities.

We understand that Council will issue an invoice for the appropriate assessment fee for payment by the applicant.

We trust that the above satisfies Council's requirements, however, if you have any queries, please contact me on 0427 515 177.

Yours faithfully

**CivilWalker Consulting Engineers**



**Daryl Walker**

Director | Principal Engineer

BE(Hons) ME DipPM RPEQ (19806) RPEng (1259)

enc.      Attachment 1 – DA Form 1 Development Application Details  
Attachment 2 – Statement of Compliance Operational Works Design  
Attachment 3 – Project Drawings  
Attachment 4 – Priced Schedule of Quantities



## **Attachment 1**

DA Form 1 Development Application Details

# DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	J & V Noli Pty Ltd
Contact name (only applicable for companies)	C/- CivilWalker Consulting Engineers, Daryl Walker
Postal address (P.O. Box or street address)	PO Box 542
Suburb	Clifton Beach
State	Qld
Postcode	4879
Country	Australia
Contact number	0427 515 177
Email address (non-mandatory)	<a href="mailto:daryl@civilwalker.com.au">daryl@civilwalker.com.au</a>
Mobile number (non-mandatory)	0427 515 177
Fax number (non-mandatory)	N/A
Applicant's reference number(s) (if applicable)	230-005

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
	-	-	Marine Parade	Newell Beach
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	2	RP 715391	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	-	-	Marine Parade	Newell Beach
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	5	SP 301696	Douglas Shire Council

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☒ Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

### 5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use    ☐ Reconfiguring a lot    ☒ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Civil Work associated with new road, stormwater drainage, water reticulation and allotment access.

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

#### 6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

## Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete DA Form 2 – Building work details

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input checked="" type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input checked="" type="checkbox"/> Road work <input checked="" type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input checked="" type="checkbox"/> Stormwater <input checked="" type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input checked="" type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	2
<input checked="" type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$65,405	

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

#### Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)



<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the <b>Chief Executive of the distribution entity or transmission entity:</b>
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul>
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council:</b>
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the <b>Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:</b>
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the <b>relevant port operator</b> , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the <b>Chief Executive of the relevant port authority:</b>
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the <b>Gold Coast Waterways Authority:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the <b>Queensland Fire and Emergency Service:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> Further advice about information requests is contained in the <a href="#">DA Forms Guide</a> .

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application  
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Development application	ROL 2023_5540/1	9 February 2024	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application  
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached  
☒ No

### 23) Further legislative requirements

#### **Environmentally relevant activities**

#### 23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

#### **Hazardous chemical facilities**

#### 23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application  
☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application  
☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below  
☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*  
☒ No

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)  
☒ No

### Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

**Note:** See guidance materials at [www.planning.dsdmip.qld.gov.au](http://www.planning.dsdmip.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

### 25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

---

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



**Attachment 2**  
Statement of Compliance Engineering Design

# FNQROC DEVELOPMENT MANUAL

Council

Douglas Shire Council

## STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorized agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

<b>Name of Development</b>	Marine Parade, Newell Beach
<b>Location of Development</b>	Marine Parade, Newell Beach
<b>Applicant</b>	J & V Noli Pty Ltd
<b>Designer</b>	CivilWalker Consulting Engineers

It is hereby certified that the Calculations, Drawings, Specifications, and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refers to non-compliance report / drawing number
Plan presentation	Nil
Geotechnical requirements	Not Applicable
Geometric road design	Nil
Pavements	Nil
Structures / bridges	Not Applicable
Sub-surface drainage	Not Applicable
Stormwater drainage	Nil
Site re-grading	Nil
Erosion control and stormwater management	Nil
Pest plant management	Nil
Cycleway / pathways	Not Applicable
Landscaping	Not Applicable
Water source and disinfection / treatment infrastructure (if applicable)	Not Applicable
Water reticulation, pump stations and water storages	Nil
Sewer reticulation and pump stations	Not Applicable
Electrical reticulation and street lighting	Not Applicable
Public transport	Not Applicable
Associated documentation / specification	Nil
Priced schedule of quantities	Nil
Referral agency conditions	Not Applicable
Supporting documentation (AP1.08)	Nil
Other	Not Applicable

Conscientiously believing the above statements to be true and correct, signed on behalf of:

<b>Designer</b>	CivilWalker Consulting Engineers	<b>RPEQ No</b>	19806
<b>Name in Full</b>	Daryl James Walker		
<b>Signature</b>		<b>Date</b>	14.02.24





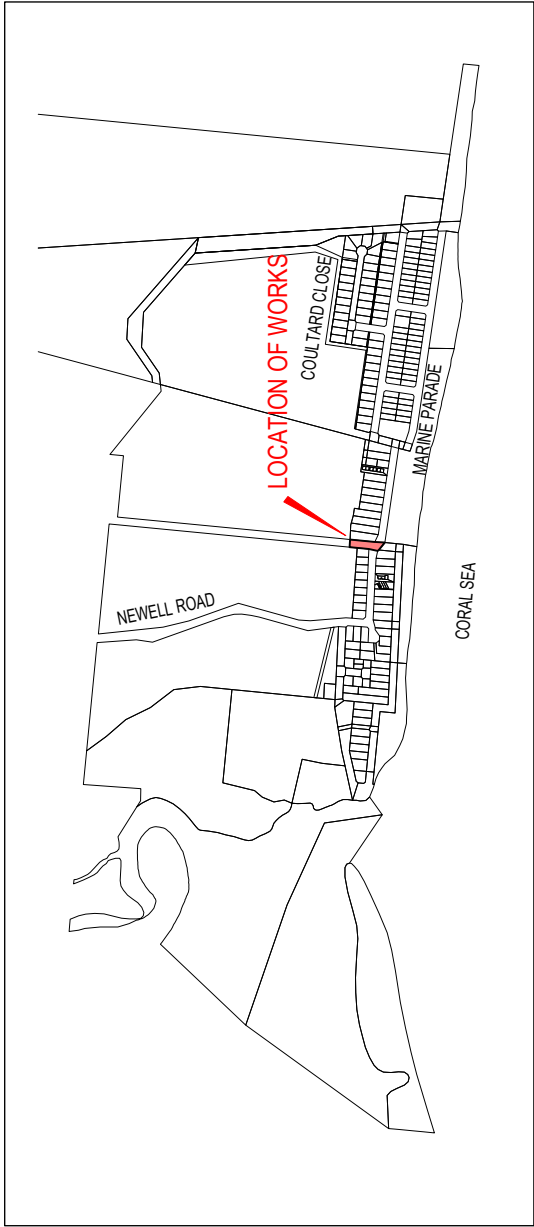
**Attachment 3**  
Project Drawings

J & V NOLI

LOT 2 RP715391 & LOT 5 SP301696, NEWELL BEACH

OPERATIONAL WORK

PROJECT No: 230-005



LOCALITY PLAN  
N.T.S.

PROJECT DRAWINGS

DRAWING No.	DRAWING TITLE
230-005-C01	COVER SHEET, DRAWING INDEX & LOCALITY
230-005-C02	IMPORTANT NOTES
230-005-C03	GENERAL ARRANGEMENT
230-005-C04	EARTHWORKS
230-005-C05	ROAD LONGITUDINAL SECTION
230-005-C06	ROAD CROSS SECTIONS
230-005-C07	MISCELLANEOUS DETAILS
230-005-C08	EROSION & SEDIMENT CONTROL STRATEGY

REVISIONS			
A	13.02.24	INITIAL	ISSUE
NO.	DATE	DESCRIPTION	
		DESIGN	APPROVED

CLIENT
J & V NOLI

SCALE
ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



DRAWN	CW	CHECKED	DJW	LOT 2 RP715391 & LOT 5 SP301696, NEWELL BEACH
DESIGNED	CW	CHECKED	DJW	OPERATIONAL WORK
APPROVED				COVER SHEET, DRAWING INDEX & LOCALITY
				DRAWING NO.
				230-005-C01
				REVISION
				A

FNQROC REGIONAL DEVELOPMENT MANUAL

- 1. CONSTRUCTION AND INSTALLATION OF ALL WORKS AS DETAILED ON THESE DRAWINGS SHALL BE IN ACCORDANCE WITH THE PROCEDURES, SPECIFICATIONS AND REFERENCED STANDARD DRAWINGS CONTAINED IN THE CURRENT ISSUE OF THE FNQROC DEVELOPMENT MANUAL UNLESS NOTED OTHERWISE.

COMPLIANCE WITH ASSESSMENT MANAGER CONDITIONS

- 1. CONSTRUCTION OF THE WORKS DETAILED ON THESE DRAWINGS SHALL NOT COMMENCE UNTIL AN OPERATIONAL WORKS PERMIT HAS BEEN ISSUED BY COUNCIL AND THE REQUIRED PRE-START MEETING HAS BEEN HELD.
- 2. THE CONTRACTOR SHALL COMPLY WITH ALL RELEVANT CONDITIONS SET OUT IN THE COUNCIL DECISION NOTICE FOR OPERATIONAL WORK.

SURVEY & EXISTING SERVICES

- 1. THE EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE DERIVED FROM SURFACE SITE INSPECTION. THEY MAY NOT REPRESENT ALL OF THE SERVICES SHOWN ON THOSE DRAWINGS, OR ALL OF THE EXISTING SERVICES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE SURVEY AND SUBSEQUENTLY LOCATING ALL EXISTING SERVICES PRIOR TO ANY WORKS COMMENCING. ONCE THE LINE AND LEVEL OF EXISTING UNDERGROUND SERVICES HAS BEEN CONFIRMED BY THE CONTRACTOR, THE ENGINEER SHALL BE NOTIFIED OF ANY POTENTIAL CLASHES WITH THE DESIGN PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY IF ANY DAMAGE OCCURS.



EARTHWORK

- 1. IN ACCORDANCE WITH THE LAND PROTECTION (PEST AND STOCK ROUTE MANAGEMENT) ACT 2002, SOIL OR ANY MATTER CONTAINING REPRODUCTIVE PEST PLANT MATERIAL MUST NOT BE REMOVED FROM THE SITE. THE CONTRACTOR'S ENVIRONMENTAL MANAGEMENT PLAN MUST IDENTIFY APPROPRIATE MEASURES TO BE PUT IN PLACE TO ENSURE THAT SOIL AND OTHER ORGANIC MATERIALS ARE NOT INADVERTENTLY TRANSPORTED TO OTHER LOCATIONS. THE CONTRACTOR SHALL CONTACT COUNCIL'S PEST MANAGEMENT UNIT TO OBTAIN ADVICE WITH REGARD TO DEVELOPING THIS COMPONENT OF THE ENVIRONMENTAL MANAGEMENT PLAN. SOIL (OR OTHER MATTER) CONTAMINATED WITH WEED SEED OR ORGANIC MATERIAL SHOULD NOT BE USED IN LANDSCAPING. A VEHICLE WASH DOWN AND INSPECTION AREA MUST BE PROVIDED FOR ALL MACHINERY / PLANT ENTERING AND LEAVING THE SITE DURING CONSTRUCTION TO REDUCE THE SPREAD OF INVASIVE WEED SPECIES.
- 2. STRIP AND REMOVE EXISTING TOPSOIL. SOIL CONTAINING SIGNIFICANT AMOUNTS OF ORGANIC MATERIALS AND ALSO ANY DELETERIOUS SOFT WET OR HIGHLY COMPRESSIVE MATERIALS, MATERIALS CONTAMINATED THROUGH PAST SITE USAGE WHICH MAY CONTAIN TOXIC SUBSTANCES OR SOLUBLE COMPOUNDS HARMFUL TO GROUND WATER, MATERIALS CONTAINING SUBSTANCES THAT CAN BE DISSOLVED OR LEACHED OUT IN THE PRESENCE OF MOISTURE (EG GYPSUM) OR WHICH UNDERGO VOLUME CHANGE OR LOSS OF STRENGTH WHEN DISTURBED AND EXPOSED TO MOISTURE (EG. SOME SHALES AND SANDSTONES), SILTS OR MATERIALS THAT HAVE THE DELETERIOUS PROPERTIES OF SILT, AND MATERIAL THAT CONTAINS WOOD, METAL, PLASTIC, BOULDERS OR OTHER DELETERIOUS MATERIAL.
- 3. REMOVE ALL FISSURED MATERIALS.
- 4. CLEAR THE SURFACE OF ANY LOOSE ROCK AND SOIL.
- 5. THE EXISTING SURFACE SHALL THEN BE COMPACTED TO A MINIMUM DRY DENSITY RATIO OF 97% SRDD AND MOISTURE TESTED TO A RANGE OF -2% (DRY) TO +2% (WET) OF OPTIMUM MOISTURE CONTENT USING A STEEL DRUM OR PAD FOOT ROLLER.
- 6. ANY SOFT SPOTS SHALL BOUGHT TO THE ATTENTION OF THE ENGINEER FOR INSTRUCTION ON HOW TO PROCEED.
- 7. **NO FILLING OR PAVEMENT CONSTRUCTION OPERATION IS TO BE UNDERTAKEN UNTIL THE ENGINEER HAS PROVIDED AUTHORISATION TO DO SO.**
- 8. ANY REQUIRED IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE BELOW REQUIREMENTS AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO FILLING OPERATIONS COMMENCING:
  - AS METRIC SIEVE % PASSING BY WEIGHT
    - 75mm 100
    - 2.36mm 25 - 70
    - 75um 0 - 30
  - MINIATURE ABRASION LOSS PASSING 2.36mm 0 - 15
  - LINEAR SHRINKAGE PASSING 4.25um 0 - 8
  - MATERIAL RETAINED ON 2.36mm SIEVE SHALL CONSIST OF SOUND STONE SOAKED CBR 15 AT 97% SRDD COMPACTION
- 9. ANY REQUIRED FILLING SHALL BE UNDERTAKEN BY PLACING APPROVED MATERIAL IN UNIFORM HORIZONTAL LAYERS NOT EXCEEDING 200mm LOOSE THICKNESS AND COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF AT LEAST 97% SRDD. THE MOISTURE CONTENT OF FILL MATERIALS SHALL BE MAINTAINED AT -2% (DRY) TO +2% (WET) OF OPTIMUM MOISTURE CONTENT DURING AND AFTER COMPACTION.
- 10. THE FREQUENCY OF FIELD DENSITY TESTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TABLE 8.1 AS3798.
- 11. TRANSPORTATION OF FILL OR SPOIL TO AND FROM THE SITE MUST NOT OCCUR WITHIN:
  - PEAK TRAFFIC TIMES; OR
  - BEFORE 7am OR AFTER 6pm MONDAY TO FRIDAY; OR
  - BEFORE 7am OR AFTER 1pm SATURDAYS; OR
  - ON SUNDAYS OR PUBLIC HOLIDAYS.

PROVISION OF DESIGN MODEL

- 1. A COPY OF DESIGN STRINGS, CONTOURS & TRIANGLES WILL BE PROVIDED TO THE CONTRACTOR TO ASSIST IN SETTING OUT OF THE WORK.
- 2. THE CONTRACTOR SHALL NOT RELY ON THE DATA WITHI THE DESIGN MODEL & IF IT ELECTS TO UTILISE THE INFORMATION, IT SHALL CHECK AGAINST THE PROJECT DRAWINGS TO CONFIRM SET-OUT DETAILS.
- 3. THE PROJECT DRAWINGS TAKE PRECEDENCE OVER DETAILS WITHIN ANY ISSUED MODEL DATA.

PAVEMENT

- 1. PAVEMENT CONSTRUCTION METHODOLOGY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FNQROC REGIONAL DEVELOPMENT MANUAL STANDARD SPECIFICATIONS.
- 2. THE CONTRACTOR IS REMINDED OF THE REQUIREMENT FOR HOLD POINT AND WITNESS POINT INSPECTIONS AS REQUIRED BY THE RELEVANT SPECIFICATION. THE ENGINEER SHALL BE CONTACTED FOR PROOF ROLL AND PRE-SEAL INSPECTIONS WITH 48 HOURS NOTICE.
- 3. THE CONTRACTOR IS REMINDED OF THE REQUIREMENT FOR MATERIAL AND COMPACTION TESTING REQUIREMENTS AS REQUIRED BY THE STANDARD SPECIFICATION.

STORMWATER DRAINAGE

- 1. ALL STORMWATER PIPES / BOXES SHALL TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S / FNQROC REQUIREMENTS FOR STANDARD STORMWATER DRAINAGE DETAILS. REFER FNQROC STANDARD DRAWINGS S1045 - S1100, INCLUSIVE.
- 2. PRIOR TO COMMENCEMENT OF PIPE WORK, THE CONTRACTOR SHALL CONFIRM THE INVERT LEVEL OF DOWNSTREAM DRAINAGE TO ENSURE THAT THE STORMWATER SYSTEM CAN ADEQUATELY OUTLET / DRAIN. CONTACT THE ENGINEER IF THERE ARE ANY DISCREPANCIES.

WATER

- 1. ALL WATER WORKS TO BE IN ACCORDANCE WITH FNQROC STANDARD SPECIFICATION SS, UNLESS NOTED OTHERWISE.
- 2. FOR DETAILS OF WATER MAIN TRENCH BEDDING REFER FNQROC STANDARD DRAWING S2016. BEDDING TO BE TYPE 1 UNLESS NOTED OTHERWISE.
- 3. PROVIDE THRUST BLOCKS IN ACCORDANCE WITH FNQROC REQUIREMENTS.
- 4. CONNECTION OF NEW WATER MAIN SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF DOUGLAS SHIRE COUNCIL CONTRACTOR TO LAISE WITH COUNCIL & ORGANISE FOR CONNECTION.

EROSION SEDIMENT CONTROL STRATEGY

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND SHALL AVOID ENVIRONMENTAL POLLUTION IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION ACT.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL AND MANAGEMENT MEASURES CONFORMING TO THE REQUIREMENTS OF THE ACT AND THE RELEVANT AUTHORITIES.
- 3. THE CONTRACTOR SHALL INSTALL ALL DEVICES/MEASURES NECESSARY TO COMPLY WITH THE PROVISIONS OF THE FNQROC DEVELOPMENT MANUAL, THE ENVIRONMENTAL PROTECTION ACT AND COUNCIL REQUIREMENTS.
- 4. ANY SOIL STOCKPILES SHALL BE PROTECTED AGAINST WIND EROSION BY COVERING AND AGAINST STORMWATER RUNOFF BY SILT FENCES AT THE DOWNHILL SLOPES. STOCKPILE LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND EROSION/CONTROL MEASURES IMPLEMENTED & MAINTAINED FOR THE LIFE OF THE STOCKPILE.

REVISIONS			
NO.	DATE	DESCRIPTION	DESIGN / APPROVED
A	13.02.24	INITIAL ISSUE	

CLIENT

J & V NOLI

SCALE

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

CivilWalker  
CONSULTING ENGINEERS

DRAWN		CW	CHECKED	DJW	LOT 2 RP715391 & LOT 5 SP301696, NEWELL BEACH
DESIGNED		CW	CHECKED	DJW	
APPROVED		ORIGINAL CERTIFIED BY D.J.WALKER			
DRAWING NO.					250-003-C02
DATE: 13.02.24					REVISION A







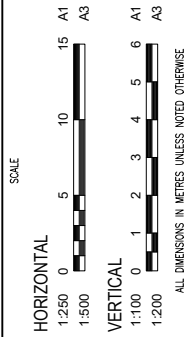




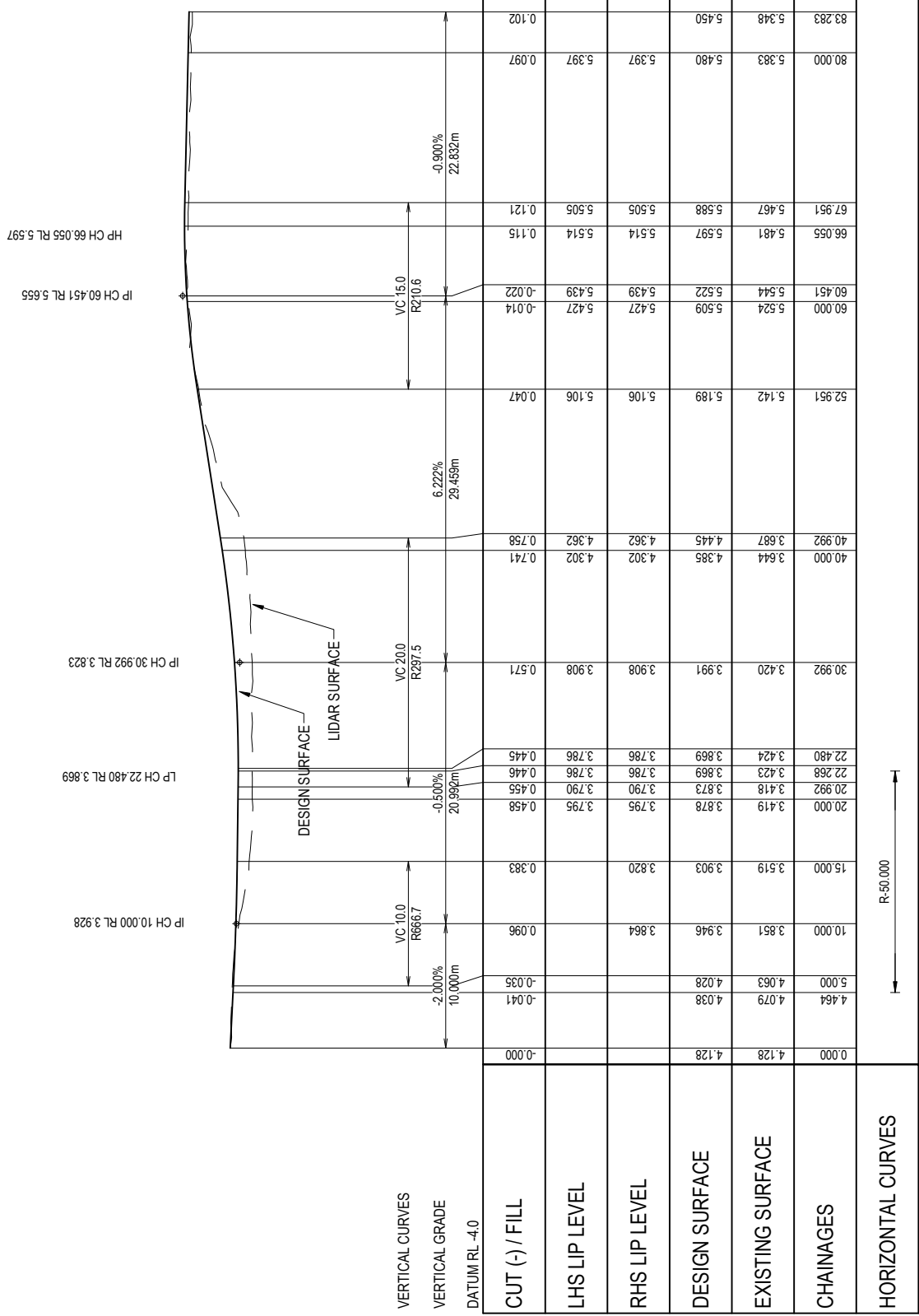
REVISIONS				INITIAL	ISSUE	DESIGN	APPROVED
NO.	DATE	DESCRIPTION					
A	13.02.24						

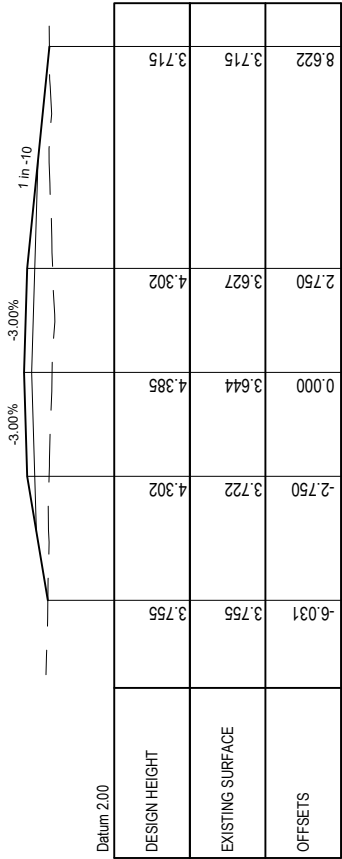
**CLIENT**

J & V NOLI

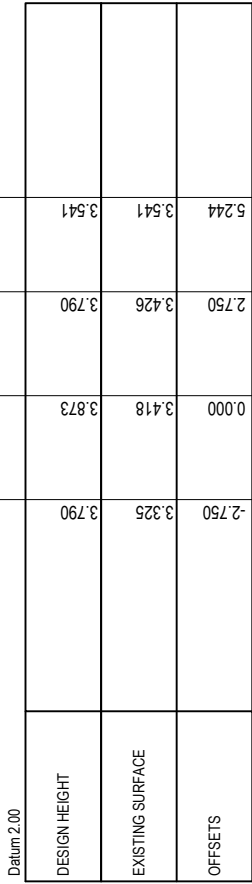
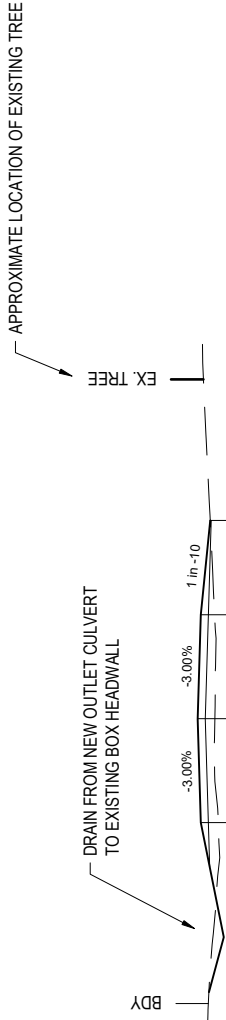


DRAWN	CW	DJW	LOT 2 RP715391 & LOT 5 SP301696, NEWELL BEACH
		CHECKED	
DESIGNED	CW	DJW	OPERATIONAL WORK
APPROVED		CHECKED	
ORIGINAL CERTIFIED BY D.J.WALKER			ROAD LONGITUDINAL SECTION
DRAWING NO.			250-0003-C05
DATE: 13.02.24			REVISION
RFD: 19806			A

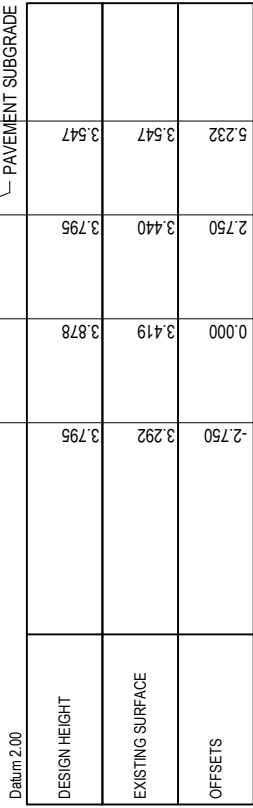
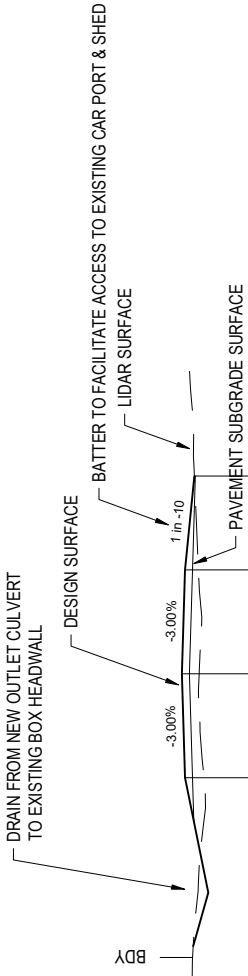




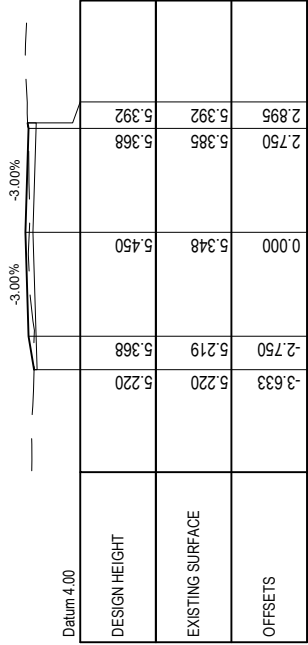
CHAINAGE 40.000



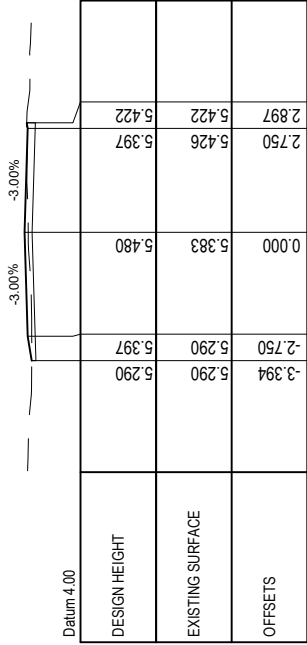
CHAINAGE 21.000



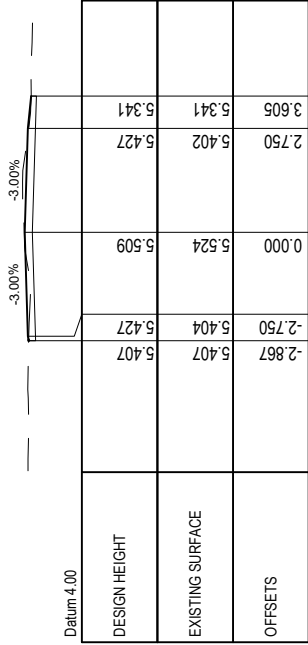
CHAINAGE 20.000



CHAINAGE 83.283

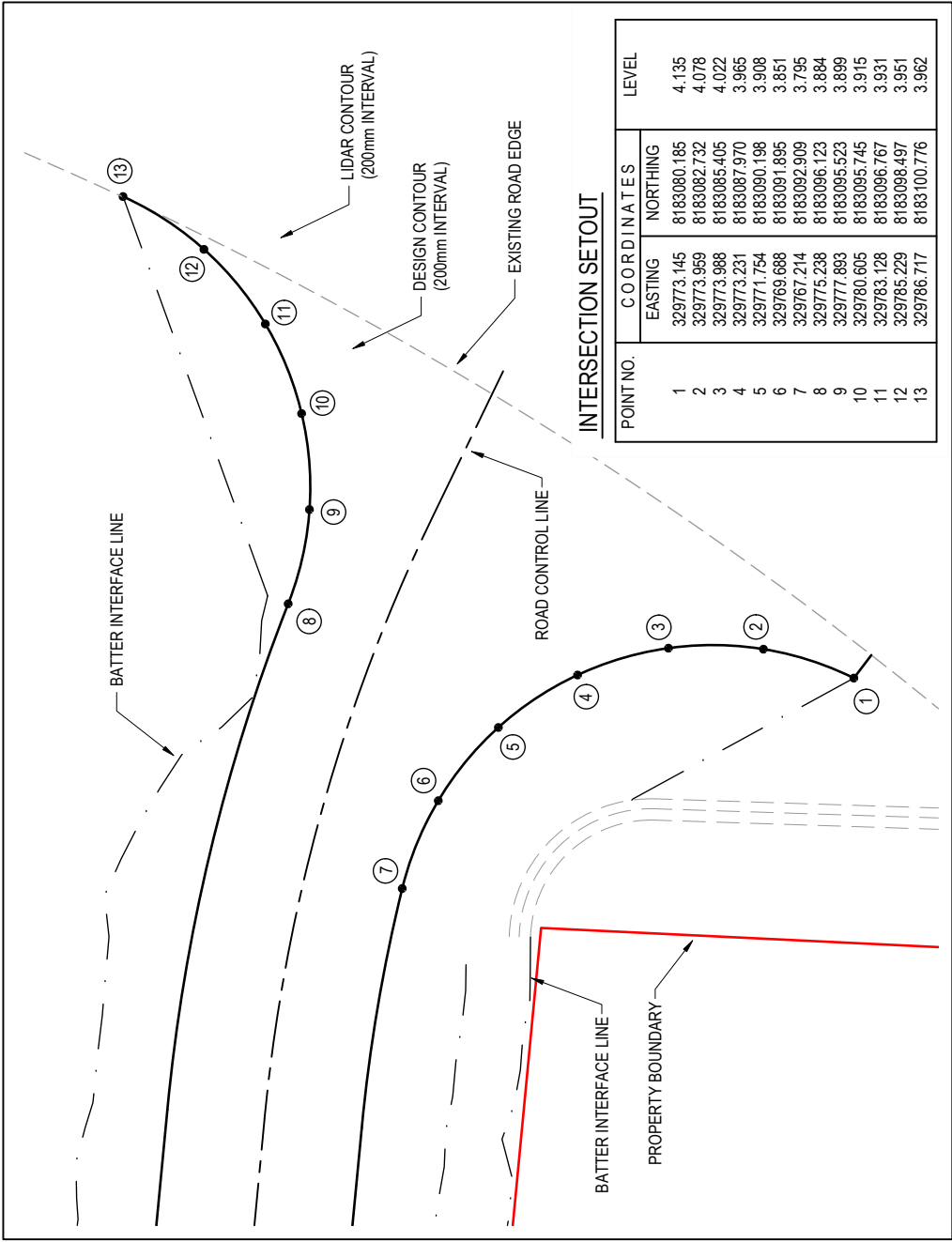


CHAINAGE 80.000

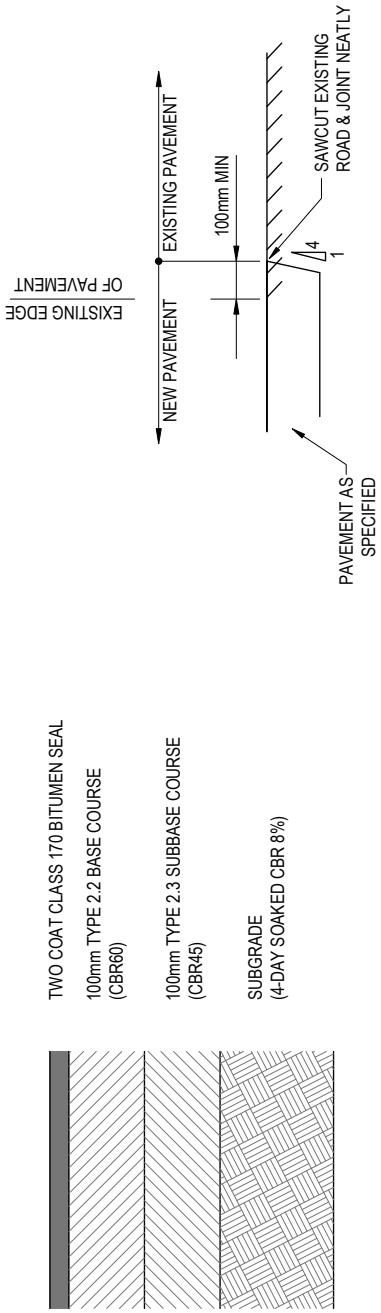


CHAINAGE 60.000

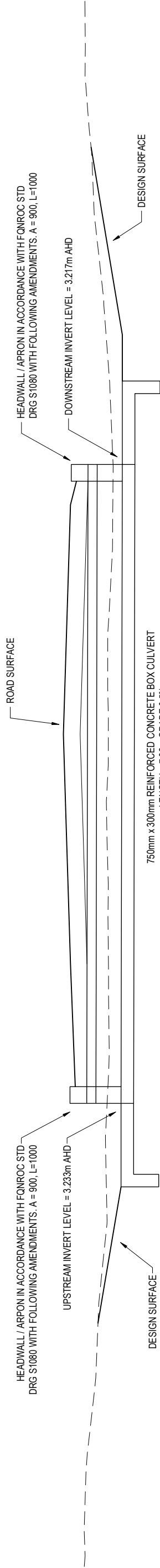
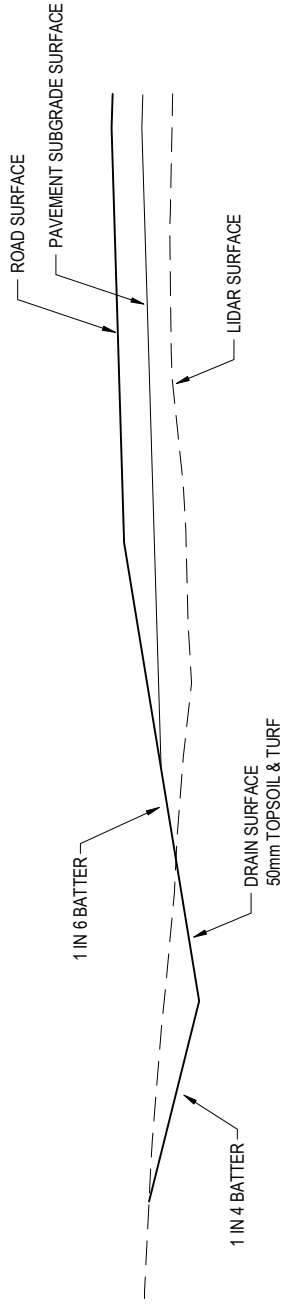
REVISIONS				NO.		DATE		DESCRIPTION		DESIGN		APPROVED	
				A	13.02.24			INITIAL	ISSUE				



INTERSECTION SET-OUT DETAIL



PAVEMENT DESIGN IS PROVISIONAL ONLY. SUBGRADE CBR TO BE CONFIRMED WITH FIELD TESTING. 4-DAY SOAKED CBR RESULTS TO BE PROVIDED TO ENGINEER FOR CONFIRMATION OF DESIGN DETAIL.



REVISIONS		CLIENT		DESIGN	
NO.	DATE	DESCRIPTION	DESIGN	APPROVED	
A	13.02.24	INITIAL ISSUE			

J & V NOLI

SCALE

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE



DRAWING NO.		DATE 13.02.24		RFG-19806	
DESIGNED BY D.J.WALKER		CHECKED D.J.W		LOT 2 RP715391 & LOT 5 SP301696, NEWELL BEACH	
APPROVED		CHECKED		OPERATIONAL WORK	
				MISCELLANEOUS DETAILS	
				250-003-C07	
				REVISION	
				A	





REVISIONS		NO.		DATE	DESCRIPTION	DESIGN	APPROVED
A	13.02.24				INITIAL ISSUE		

CLIENT

J & V NOLI

SCALE

1:200

024681012A1

1:400

024681012A3

ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE

CivilWalker  
CONSULTING ENGINEERS

DRAWN		CW	CHECKED	DJW	LOT 2 RP715391 & LOT 5 SP301696, NEWELL BEACH		
DESIGNED APPROVED		CW	CHECKED	DJW	OPERATIONAL WORK		
ORIGINAL CERTIFIED BY D.J.WALKER		DRAWING NO.		230-005-C08	EROSION & SEDIMENT CONTROL STRATEGY		
DATE 13.02.24		RFG		PERSON	A		





**Attachment 4**  
Priced Schedule of Quantities

**J & V Noli**  
**Newell Beach Road Extension**  
**Cost Estimate for Operational Works Application**

Item	Description	Unit	Quantity	Rate	Amount
1	Site Mobilisation / Establishment, Management Plans, Insurances, locate existing services, security, Project Sign, Qleave and Demobilisation	Item			\$5,000.00
2	Implementation of Management Plans (HSEQ), including site wide temporary fencing	Item			\$2,500.00
3	Provision for Traffic	Item			\$2,000.00
4	Site Set Out	Item			\$2,000.00
5	Clearing and Grubbing	m²	950	\$ 1.50	\$1,425.00
6	Erosion and Sediment Control	Item			\$3,000.00
7	Strip and stockpile topsoil (100mm thickness assumed)	m²	95	\$ 8.50	\$807.50
8	Earthworks (cut to fill) (balanced site)	m³	85	\$ 35.00	\$2,975.00
9	Pavement (Road) (Accesses not included)				
	a) Trimming and compaction of pavement subgrade	m²	510	\$ 3.25	\$1,657.50
	b) 100mm Subbase	m³	51.00	\$ 190.00	\$9,690.00
	c) 100mm Base	m³	51.00	\$ 200.00	\$10,200.00
	d) Final trim	m²	510	\$ 4.50	\$2,295.00
	e) 2-coat Class 170 bitumen seal	m²	510	\$ 21.00	\$10,710.00
10	40mm Water Main	m	70	\$ 90.00	\$6,300.00
10	Respread topsoil to verges / drain	m²	440	\$ 8.50	\$3,740.00
11	Grass seeding to verges	m²	415	\$ 2.00	\$830.00
12	Turf to drain	m²	25	\$ 11.00	\$275.00
<b>Total</b>					<b>\$65,405.00</b>