

29 May 2024

**Enquiries:** Neil Beck  
**Our Ref:** OP 2024\_5589/1 (1229774)  
**Your Ref:** 016-2304

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

Allaro Homes Cairns Pty Ltd  
C/- Neon Consulting  
11 Rosemont Court  
MOOROOBOOL QLD 4870

**Email:** craig@consultneon.com.au

Dear Sir

**INFORMATION REQUEST**  
**(Given under Section 12 of the Development Assessment Rules)**

Council refers to your development application that was properly made on 21 May 2024.

**Applicant Details**

---

**Name:** Allaro Homes Cairns Pty Ltd  
**Postal Address:** C/- Neon Consulting  
11 Rosemont Court  
MOOROOBOOL QLD 4870  
**Email:** craig@consultneon.com.au

**Property Details**

---

**Street Address:** 42-52 Mitre Street CRAIGLIE  
**Real Property Description:** LOT: 900 SP: 342106  
**Local Government Area:** Douglas Shire Council

**Application Details**

---

**Application Number:** OP 2024\_5589/1  
**Approval Sought:** Development Permit  
**Nature of Development Proposed:** Operational Works  
**Description of the Development Proposed:** Operational Works (Works associated with housing development)

## Additional Information Requested

---

The following additional information is requested in order to complete an assessment of the application:

### Stormwater

1. Provide stormwater capacity calculations to support the profile, slope and batters of the northern drainage path. That is, the drainage easement along the Sagiba Avenue frontage of Lot 1, located west of the existing 3/600x450 crossroad culvert.

In particular, demonstrate these open drains are able to convey up to and including the 1% AEP storm event with appropriate freeboard as required by the Queensland Urban Drainage Manual (QUDM). Flows are permitted to spread into Sagiba Avenue for rainfall events greater than the minor event.

*Advice Note: Annotation of the open drain section/s showing the 1% AEP water level and design levels would assist with demonstrating the drain profile is suitable to convey the catchment flows. Note that the Mango Beach culvert operation indicated Headwater levels of 3.014m for the 10% AEP flows.*

2. Provide stormwater longitudinal sections to support the Stormwater Drainage Plan. It is also requested that the following be included as part of this response:
  - a) Confirm the horizontal and vertical clearances to all water main service crossings, including thrust blocks comply with the minimum clearances required by FNQROC and Water Services Association of Australia (WSAA). It is noted no information on clearances between water and stormwater services was provided;
  - b) Confirm the levels that the 150mm diameter pipes from Basin 2 passes through Basin 1 (between inlet pit 2/3 and 1/3); and
  - c) Confirm the hydraulic grade of the drainage easement and crossroad culverts downstream of the development do not impact the proposed stormwater network.
3. Confirm the batter treatments/drain lining for the open drain within Lot 1 (existing dwelling). In particular, clarify how the batter slopes comply with the requirements of Section D4.12 of the FNQROC Development Manual.

*Advice Note: Officers are concerned the 1 in 2 batter shown in Section B on Neon drawing 402 (Stormwater Details) is not a preferred outcome for drainage maintenance purposes. Additional information on the depth of the open drain would assist in resolving this matter.*

4. Provide further information including, but not limited to, labels and notes on Neon drawing 402 (Earthworks Details) to clarify the detail shown. In particular, clarify the levels on the upstream culvert headwall and road edge adjacent this.

The advice should confirm the minor event flows are able to pass the culvert and allow Basin 2 to operate without inundating the road.

5. Clarify that the basins and internal stormwater remain private assets and the requirements for ongoing post-construction management (inclusive of responsibility) of the drainage is the responsibility of the Body Corporate.
6. As detailed in the Development Permit for Reconfiguring a Lot dated 2 May 2024, provide a SQID or a number of SQID's within the internal stormwater network.

*Advice Note: This may be achievable by installing removable cages in the inlet pits for maintenance by the body corporate to catch gross pollutants.*

### Retaining Walls

7. Provide details on the retaining wall structure/s nominated on the civil plans. In particular, provide details on the type of structure and materials proposed. Include

footing details with respect to the perimeter boundary.

## Lot Development Footprint

8. Clarify how the total width of Lot 25 (excluding the SPS easement area) is sufficient to enable construction of the dwelling proposed for this allotment.

The dwelling concepts nominated in the preceding Combined Application submission (DSC Ref: CA 2023\_5488/1) indicates a 10m width is required for Lot 25.

**Advice Note:** Officers note the width between the 30m SPS exclusion radius and the shared boundary with Lot 24 appears to be approximately 6.3m. The Plan of Development by RPS dated 21 July 2023 (Plan Ref: AU6631 – 07a) indicates the width of Lot 25 is 10m to accommodate the dwellings proposed by Allaro Homes. Refer to figure 1a and 1b below.

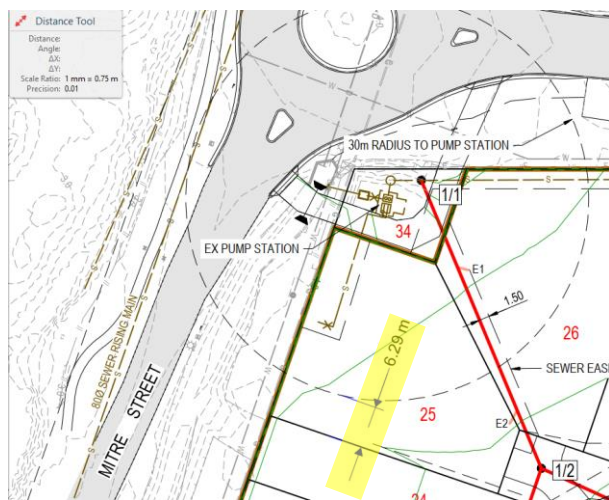


Figure 1(a) Neon Drawing 501 (Sewerage Plan)

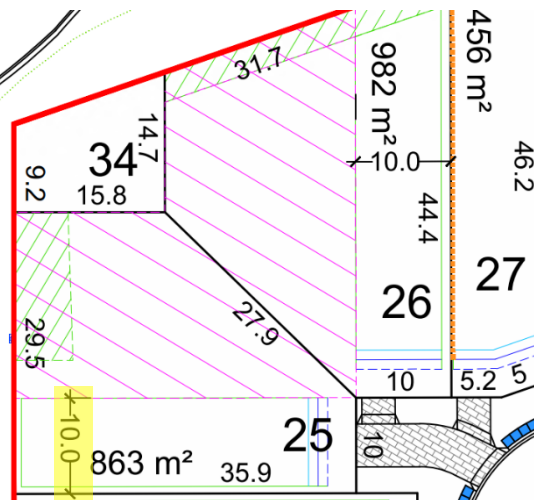


Figure 1(b) RPS Drawing AU6631 – 07a (Plan of Development)

## Sewer

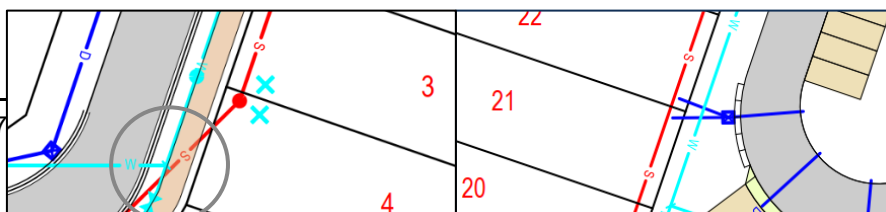
9. The Applicant is requested to update Neon drawing 402 to show invert levels, design levels, and section/s of the drainage easement between Sagiba Avenue and Lot 1 to confirm the invert of the open drainage does not expose the existing sewer main aligned parallel to Sagiba Avenue.

The advice must include confirmation of how stormwater ingress into the manhole will be prevented.

**Advice Note:** This may be addressed as part of the response to the stormwater query item above, however, the potential stormwater ingress of the manhole is of concern.

10. The Applicant is requested to assess services crossing the proposed internal water mains and potential implications to thrust block stability if future maintenance of services (i.e. services trenches) is required. In particular, the assessment must address the level of risk associated with how maintenance of sewer mains crossing below water main thrust blocks may impact the stability of these thrust blocks.

**Advice Note:** Officers note two instances where there is potential for water main thrust blocks to become undermined if maintenance of the underlying sewer mains is required in future works. Refer to figure 2 below.



11. Confirm the intended construction details and fittings for the water main pipe bend proposed in Sagiba Avenue at the frontage to the development.

*Advice Note: Officers note the proposed pipe bend shown in the figure below is greater than 90 degrees and seeks advice of the combination of fitting alignment for consideration. Refer to Figure 3 below.*

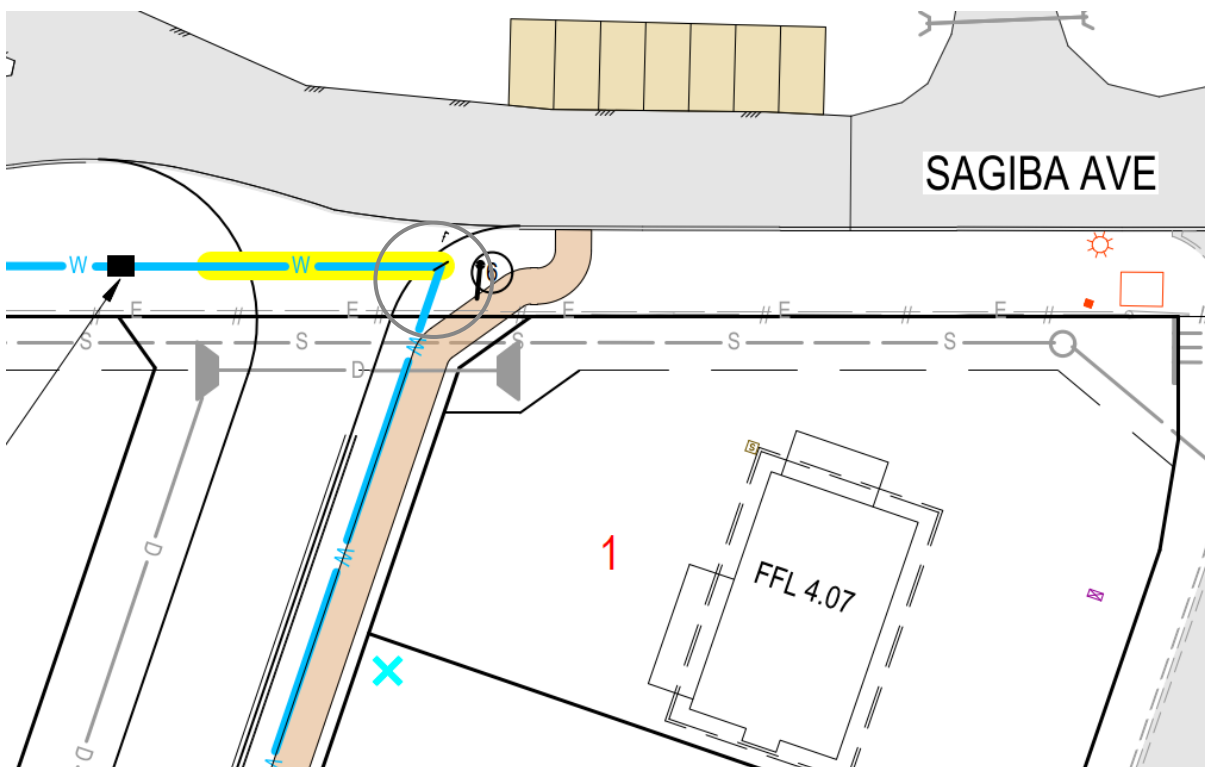


Figure 3. Non-Standard Water Main Pipe Bend

### Pump Station Access

12. Provide updated turn paths for the pump station hardstand drive-through to confirm the following can be achieved safely and in accordance with AS2890.1:
  - a) A service vehicle can negotiate the turn through the pump station drive through without deviating from the hardstand area; and
  - b) A service vehicle can enter and exit the pump station drive-through without interference from the centre medians at the Mitre Street / Sagiba Avenue roundabout.

## Due Date

---

The due date for providing the requested information is 29 August 2024 accordance with section 14.2 of the Development Assessment Rules, if you do not provide a response before the above due date (or a further agreed period), it will be taken as if you have decided not to respond to the information request and Council will continue with the assessment of the application.

## Other

---

Please quote Council's application number: MCUC 2024\_5589/1 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Neil Beck on telephone 07 4099 9444.



Yours faithfully

**For**  
**Paul Hoyer**  
**Manager Environment & Planning**