

12 April 2024

Planning Services
Douglas Shire Council
PO Box 723
Mossman Qld 4873

To whom it may concern,

EQL MOSSMAN DEPOT
Operational Works Application

Langtree Consulting would like to submit this Operational Works Application for EQL Mossman Depot. The following documents will be submitted as part of the Operational Works Application:

- Development Application Form – DA Form 1;
- OPW Checklist;
- Statement of Compliance - OPW Design; and
- Civil Works Drawings.

Yours faithfully,



Brett Langtree

Director/Principal Civil Engineer

DA Form 1 – Development application details

Approved form (version 1.4 effective 15 December 2023) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	MAL Engineers Pty Ltd
Contact name <i>(only applicable for companies)</i>	Michael Lancini
Postal address <i>(P.O. Box or street address)</i>	4/194 McLeod St
Suburb	Cairns
State	QLD
Postcode	4870
Country	Australia
Contact number	0400748070
Email address <i>(non-mandatory)</i>	Michael.lancini@malengineers.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
- No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		24-28	Thomas Street	Mossman
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	9-11, 16-18	RP715930	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
		8,10,11	Ingles Street	Mossman
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	32	SP202302	Douglas Shire

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input checked="" type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Extension on EQL depot to Lot 32 on SP202302
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.3) Additional aspects of development
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>

8.2) Does the proposed use involve the use of existing buildings on the premises?	
<input type="checkbox"/> Yes	
<input type="checkbox"/> No	

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	

9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i>	
<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below	
<input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input checked="" type="checkbox"/> Road work <input checked="" type="checkbox"/> Drainage work <input checked="" type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input checked="" type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input checked="" type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$120,000	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity
- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i> <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i> <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i> <ul style="list-style-type: none"> • <i>that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</i> • <i>Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</i> <i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input checked="" type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Development application	MCUC 2024_5580/1	26/03/2024	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input checked="" type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No

23) Further legislative requirements	
<u>Environmentally relevant activities</u>	
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?	
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <i>Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i>	
Proposed ERA number:	Proposed ERA threshold:
Proposed ERA name:	
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.	
<u>Hazardous chemical facilities</u>	
23.2) Is this development application for a hazardous chemical facility ?	
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <i>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</i>	

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17	<input checked="" type="checkbox"/> Yes
Note: See the <i>Planning Regulation 2017</i> for referral requirements	
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application	<input checked="" type="checkbox"/> Yes
Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template .	
Relevant plans of the development are attached to this development application	<input checked="" type="checkbox"/> Yes
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

Name of Council: Douglas Shire Council

Development Name and Location: EQL Mossman Depot

Planning Permit No/Council File No: MCUL/2024/5580/1

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
1. Completed 'Statement of Compliance' form. (FNQROC - AP1 – Appendix A)	Y	
2. IDAS Forms A ,E & IDAS Assessment Checklist (Available from www.ipa.qld.gov.au)	Y	DA Form 1 completed
3. Payment of Engineering Application Fees (Copy of receipt to be attached)	Y	
4. Copy of Decision Notice for Development Application Conditions, <u>inc. explanation of how each condition is to be addressed (Statement of Compliance)</u>	NA	
5. Engineering Design drawings - Complete sets (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format)	Y	
6. One copy of Design and Standard Specifications (Unbound Copy Preferable)	N	
7. Written consent from adjoining property owners authorising any works on their property	NA	
8. Water reticulation network in electronic format (Engineer to confirm system requirements and compatibility with Cairns Water)	NA	
9. Landscape drawings - Complete set (1 x A1 set, 2 x A3 sets and 1 x electronic copy on compact disc in 'PDF' format). These must be accompanied by elements of the stormwater & street ltg. layout design, to avoid conflicts.	NA	



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

<u>DESIGN SUBMISSION</u>	<u>CHECK</u>	<u>COMMENT</u>
10. Overall network drawings (for staged development) for:		
• Water	NA	
• Stormwater	NA	
• Sewer	NA	
• Pathways and roads	NA	
• Street Lighting	NA	
• Electrical	NA	
• Gas	NA	
• Public Transport	NA	
• Park Reserves	NA	
• Drainage Reserves	NA	
11. Pavement design criteria	NA	
12. Geotechnical reports for proposed earthworks	NA	
13. Structural and geotechnical certificates for retaining walls etc.	NA	
14. Water supply/sewerage pump station design parameters	NA	
15. Stormwater drainage calculations	NA	
16. Erosion and Sediment Control Strategy (ESCS)	N	To be provide by contractor prior to construction
17. Declared Pest Management Plan (if applicable)	NA	
18. The approval of any other Authorities & concurrence agencies likely to be affected by the works.	NA	



Operational Works Receipting Checklist

(To be completed by Consulting engineer making the application)

19. Contact details of the Consulting Engineer who is submitting the Application:

Name of Engineer	Michael Lancini	
Name of Company	MAL Engineers Pty Ltd	
Telephone Number (s)	Office:	Mobile: 0400 748 070
Email address	michael.lancini@malengineers.com.au	
RPEQ No.	18786	

20. Date of submission of application 11/1/2008

(For further information on all of the above refer to the FNQROC Development Manual Section AP1)

FNQROC DEVELOPMENT MANUAL

Council Douglas Shire Council
 (INSERT COUNCIL NAME)

**STATEMENT OF COMPLIANCE
 OPERATIONAL WORKS DESIGN**

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development EQL Mossman Depot

Location 24-28 Thomas Street and 8,10,11 Ingles Street Mossman of Development

Applicant Ergon Energy

Designer MAL Engineers Pty Ltd

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	Y
Geotechnical requirements	NA
Geometric Road Design	NA
Pavements	NA
Structures / Bridges	NA
Subsurface Drainage	NA
Stormwater Drainage	NA
Site Re-grading	Y
Erosion Control and Stormwater Management	N - to be provided by contractor
Pest Plant Management	NA
Cycleway / Pathways	NA

APPLICATION PROCEDURES

Landscaping	NA
Water Source and Disinfection/Treatment Infrastructure (if applicable)	NA
Water Reticulation, Pump Stations and water storages	NA
Sewer Reticulation and Pump Stations	NA
Electrical Reticulation and Street Lighting	NA
Public Transport	NA
Associated Documentation/ Specification	NA
Priced Schedule of Quantities	N- provide upon completion of tendering
Referral Agency Conditions	NA
Supporting Information (AP1.08)	
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer MAL Engineers Pty Ltd RPEQ No. 11932

Name in Full Brett Langtree

Signature *B. Langtree* **Date** 12/04/24

EARTHWORKS NOTES

- REMOVE ALL VEGETATION, ORGANIC TOPSOIL, AND OTHER DELETERIOUS MATERIAL AND DISPOSE OF ALL SUCH MATERIAL OFF SITE. EXCAVATE AND TRIM THE BUILDING OR PAVEMENT PLATFORMS AS REQUIRED. THE CONTRACTOR SHALL ALLOW TO REMOVE TOPSOIL AND REPLACE WITH COMPACTED ENGINEERED FILL UNDER ALL STRUCTURES, HARDSTANDS, ETC.
- THE DESIGN IS BASED ON ASSUMED CBR'S. THE CONTRACTOR SHALL UNDERTAKE CBR TESTING OF THE EXISTING SUBGRADE TO CONFIRM CBR.
- THE CONTRACTOR SHALL ALLOW TO PAY ALL ASSOCIATED COSTS TO ENGAGE AN APPROVED GEOTECHNICAL CONSULTANT TO CARRY OUT ALL INSPECTIONS, TESTING AND CERTIFICATIONS AS NECESSARY OF THE EARTHWORKS SHOWN IN THE DOCUMENTATION.
- THE GEOTECHNICAL ENGINEER SHALL PROVIDE ALL SERVICES AS REQUIRED TO SATISFY LEVEL 1 SUPERVISION AS SPECIFIED IN AS3798. THE CONTRACTOR SHALL PROVIDE DETAILS OF ALL TESTING TO THE ENGINEER PROGRESSIVELY THROUGHOUT THE WORKS AND NOTIFY THE ENGINEER OF ANY NON CONFORMANCES. ALL NON CONFORMING WORK IS TO BE RECTIFIED AT THE CONTRACTOR'S EXPENSE. PROOF ROLL THE EXPOSED SUBGRADE IN THE PRESENCE OF A GEOTECHNICAL ENGINEER TO IDENTIFY ANY SOFT SPOTS. THESE AREAS MUST BE INSPECTED BY THE GEOTECHNICAL ENGINEER TO ASSESS EXTENT. SOFT SPOTS SHALL BE EXCAVATED AND REPLACED WITH SELECT GRANULAR BACKFILL COMPACTED IN LAYERS NOT EXCEEDING 150mm COMPACTED THICKNESS TO COMPACTION AS NOTED. FOLLOWING THE COMPLETION OF THE EARTHWORKS AND INSTALLATION OF FOOTINGS AND SERVICES THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION FROM THE GEOTECHNICAL CONSULTANT SIGNED BY AN RPEQ STATING THAT ALL EARTHWORKS AND FOUNDATION MATERIAL SUPPORTING FOOTINGS COMPLIES WITH THE REQUIREMENTS OF THE DOCUMENTATION AND AS3798.
- PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR IS TO IDENTIFY AND BE SATISFIED OF THE CORRECT LOCATIONS OF ALL EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES IS TO BE RECTIFIED AS SOON AS POSSIBLE AT THE CONTRACTOR'S EXPENSE.
- FILL MATERIAL SHALL BE EITHER IMPORTED SELECT MATERIAL OR EXISTING EXCAVATED SOILS (IF APPROVED BY THE GEOTECHNICAL ENGINEER & FREE OF ORGANIC MATERIAL). IMPORTED FILL MATERIAL SHALL BE LOW PLASTICITY, GRANULAR FILL HAVING THE FOLLOWING CHARACTERISTICS:-
 - MINIMUM CBR 15%
 - PLASTICITY INDEX <15%
 - % PASSING 0.075mm SIEVE <25%
- FILL MATERIAL SHALL BE COMPACTED IN MAXIMUM 200mm THICK LAYERS (COMPACTED THICKNESS) TO 98% STANDARD DRY DENSITY RATIO IN ACCORDANCE WITH AS1298 U.N.O.
- FILL SHALL BE COMPACTED AND MAINTAINED AT MOISTURE CONTENTS AT PLACEMENT WITHIN THE RANGE OF PLUS 2% TO MINUS 2% OF STANDARD OPTIMUM MOISTURE CONTENT.
- THE MINIMUM FREQUENCY OF TESTING FILL COMPACTION SHALL BE IN ACCORDANCE WITH TABLE 8.1 OF AS3798 FOR TYPE 2 EARTHWORKS AND TOWNSVILLE CITY COUNCIL REQUIREMENTS. WHICH EVER IS GREATER.
- ALL EXCAVATED BATTERS AND FILL EMBANKMENTS ARE TO BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- REFER TO STRUCTURAL DRAWINGS FOR DETAILED EXCAVATION AND ALSO REFER TO ARCHITECT'S, LANDSCAPE ARCHITECT AND HYDRAULIC ENGINEER FOR OTHER REQUIREMENTS.
- PRIOR TO COMMENCEMENT OF WORK CONFIRM ALL BULK EXCAVATION LEVELS WITH THE ARCHITECT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT THE SITE AND SURROUNDING AREAS FROM DAMAGE RESULTING FROM STORMWATER RUNOFF. TEMPORARY DIVERSION DRAINS AND OR OTHER DRAINAGE CONTROL DEVICES ARE TO BE IMPLEMENTED BY THE CONTRACTOR DURING CONSTRUCTION TO MINIMISE THE EFFECTS OF WEATHER.
- ALL DISTURBED AREAS SHALL BE GRASSED AS A MINIMUM. REFER TO ARCHITECT AND LANDSCAPE ARCHITECT DRAWINGS.

DUST CONTROL

- SITE TO BE KEEP MOIST AT ALL TIMES TO ENSURE DUST CONTROL.
- UNCOMPLETED WORKS ARE TO BE WATERED AND ROLLED AT THE END OF EACH WORKING DAY TO ENSURE A FIRM SEALED SURFACE TO CONTROL DUST.

SEDIMENT CONTROL

- IT IS THE CONTRACTORS RESPONSIBILITY TO PROTECT THE SITE AND SURROUNDING AREAS FROM DAMAGE RESULTING FROM STORMWATER RUNOFF. TEMPORARY DIVERSION DRAINS AND OR OTHER DRAINAGE CONTROL DEVICES ARE TO BE IMPLEMENTED BY THE CONTRACTOR DURING CONSTRUCTION TO MINIMISE THE EFFECTS OF WEATHER.
- CONTROL WILL BE VIA THE INSTALLATION OF SILT FENCING, CATCH DRAINS, HAYBALE BARRIERS AND SEDIMENT PONDS.
- TOPSOIL STOCK-PILES ARE TO BE LOCATED IN AREAS CLEAR OF SERVICING, WATERCOURSES, ROAD AND DRAINAGE WORKS AND PROVIDED WITH SILT FENCING ON THEIR DOWNSTREAM SIDE.
- DURING THE PROJECTS CONSTRUCTION, ALL PITS ARE TO BE BLOCKED OFF AT THE SURFACE AND RUNOFF FLOWS ARE TO BE DIRECTED TO THE SEDIMENT PONDS WHERE CONTAMINATED WATERS CAN BE TREATED UNTIL THE SURROUNDING LANDSCAPE HAS BEEN STABILISED TO THE SATISFACTION OF THE SITE SUPERINTENDENT. ONLY ON THE COMPLETION OF WORKS ARE THE SEDIMENT PONDS ARE TO BE REMOVED.
- REFER TO IPWEAQ STD DWG No. D-0040 AND D-0041 FOR FURTHER DETAILS.
- ALL BATTERS TO BE STABILISED WITHIN 10 DAYS OF COMPLETION OF BULK EARTHWORKS (eg. HYDROMULCHING, TURFING etc.).
- SURROUNDING CARRIAGEWAYS TO BE KEPT CLEAN OF ANY MATERIAL CARRIED ONTO ROADWAY BY CONSTRUCTION VEHICLES FROM SITE.
- THE CONTRACTOR SHALL PROVIDE A SOIL EROSION AND SEDIMENT CONROL PLAN FOR APPROVAL PRIOR TO STARTING WORKS.

SITE CLEARANCE

- THE SITE SHALL BE CLEARED ONLY TO THE EXTENT NECESSARY TO PERMIT CONSTRUCTION OF THE PERMANENT WORKS U.N.O.
- AREAS TO BE USED FOR STOCKPILING EXCESS EXCAVATED MATERIALS SHALL BE CLEARED AND STRIPPED OF TOPSOIL AND OTHER UNSUITABLE MATERIAL.
- ALL ITEMS NOMINATED ON THE DRAWINGS TO BE REMOVED ARE TO BE DISPOSED OF OFF SITE. REMOVED VEGETATION IS TO HAVE ALL ROOTS GRUBBED OUT AND DISPOSED OF OFF SITE. ALL OFFSITE DISPOSAL IS AT CONTRACTORS EXPENSE.
- CLEARING AND DEMOLITION OPERATIONS SHALL BE CARRIED OUT ONLY WITHIN THOSE AREAS AFFECTED BY THE PROPOSED WORKS UNLESS NOTED OTHERWISE.
- PRIOR TO EXCAVATION COMMENCING THE CONTRACTOR WILL PRESENT 48 HOURS PRIOR TO WORKS COMMENCING 'DIAL BEFORE YOU DIG'.

Rev.	Date	Description	Des.	Verif.	Appd.
B	8.03.24	TENDER ISSUE		AR	ML BL
A	16.02.24	FOR DA APPLICATION		AR	ML BL



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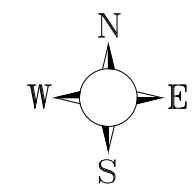
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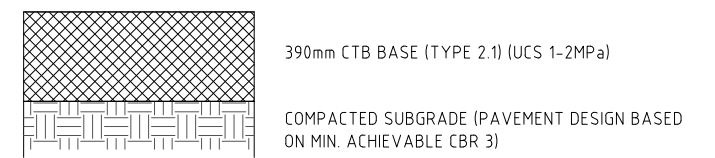
Drawn	AR	Date	16.02.24
Checked	GS	Date	16.02.24
Designed	AR	Date	16.02.24
Verified	ML	Date	16.02.24
Approved			
B.LANGTREE		20.10.22	

Client	ENERGY QUEENSLAND
Project	EQL MOSSMAN DEPOT LOTS 9-11 & 16-18 ON RP715930 THOMAS & INGLES STREET & ADJACENT LEASE AREA
Title	NOTES PLAN

Status	FOR TENDER ONLY NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Datum	AHD	Scale	AS SHOWN
Size			A1
Drawing Number	Q24034-CI-01		Revision
			B



- LEGEND**
- 4.0 DESIGN SURFACE CONTOUR (0.10m INTERVAL)
 - +8.633 DESIGN SPOT LEVELS
 - PROPOSED CONCRETE INVERT
 - OPTIONAL CONCRETE SLAB (REFER TO STRUCTURAL DRAWINGS)
 - CTB PAVEMENT (REFER TO SHEET 02 FOR PAVEMENT DESIGN)



CTB PAVEMENT DETAIL
NOT TO SCALE



LAYOUT PLAN
SCALE: 1:200

Rev.	Date	Description	Des.	Verif.	Appd.
D	9.04.24	ADDED KERB UPGRADE NOTE	AR	ML	BL
C	11.03.24	TENDER ISSUE	AR	ML	BL
B	8.03.24	TENDER ISSUE	AR	ML	BL
A	16.02.24	FOR DA APPLICATION	AR	ML	BL



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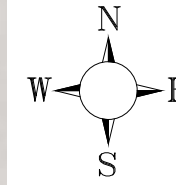
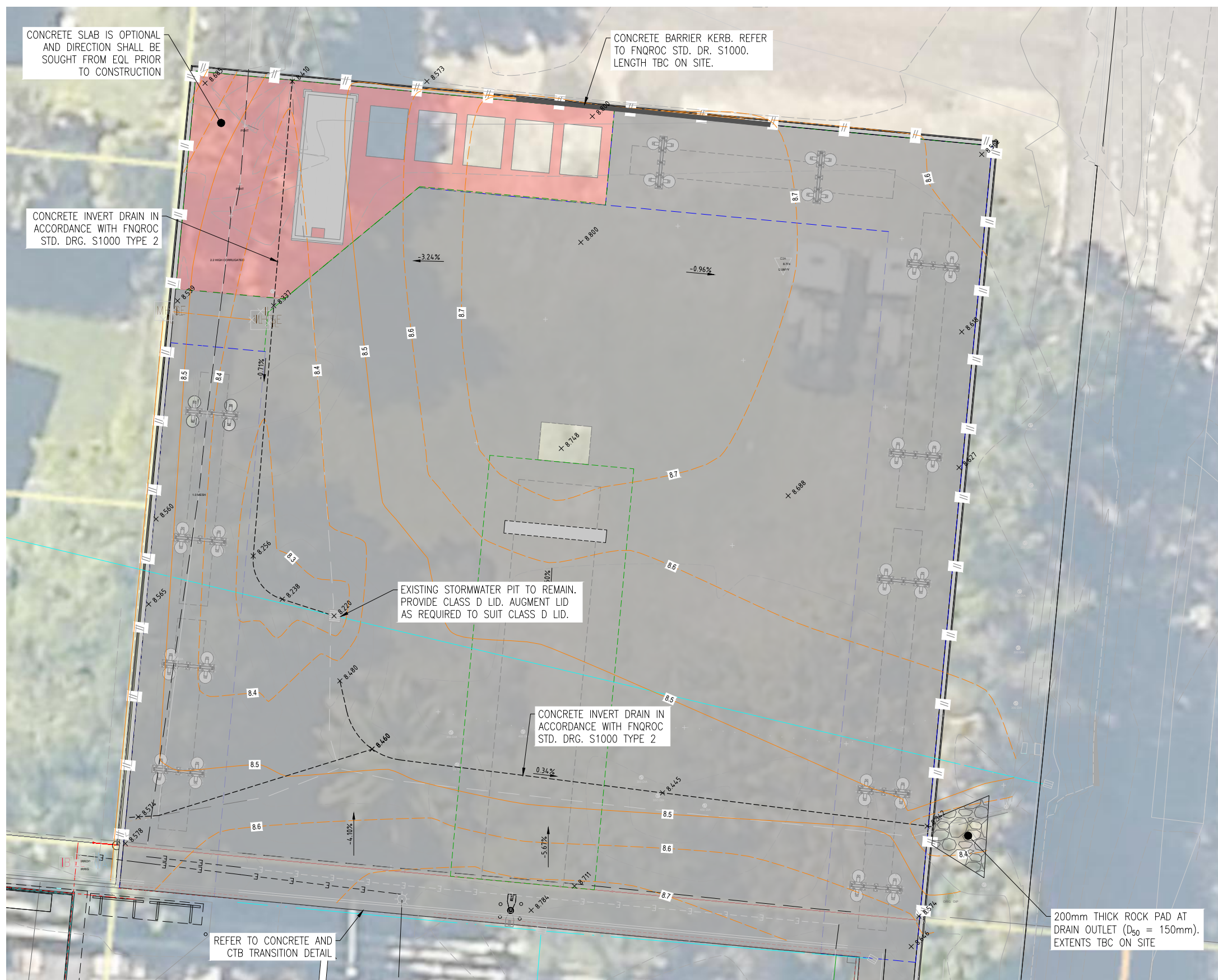
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Drawn	Date	Client
AR	16.02.24	ENERGY QUEENSLAND
Checked	Date	Project
BL	16.02.24	EQL MOSSMAN DEPOT
Designed	Date	LOTS 9-11 & 16-18 ON RP715930 THOMAS & INGLES STREET & ADJACENT LEASE AREA
AR	16.02.24	
Verified	Date	Title
ML	16.02.24	SITE PLAN
Approved	Date	
B.LANGTREE	20.10.22	

Status	Scale	Size
FOR TENDER ONLY NOT TO BE USED FOR CONSTRUCTION PURPOSES	AS SHOWN	A1
Datum	Drawing Number	Revision
AHD	Q24034-CI-02	D

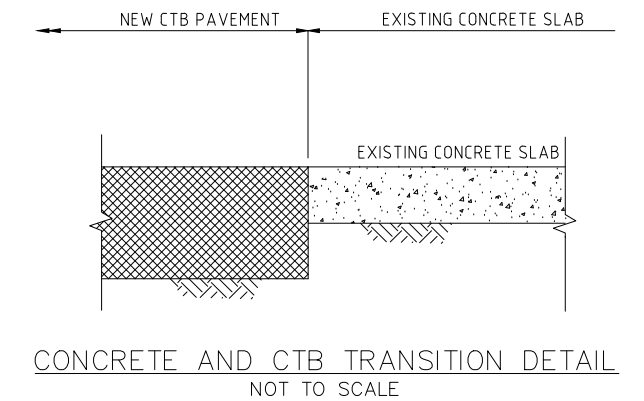


LEGEND

- 4.0 DESIGN SURFACE CONTOUR (0.10m INTERVAL)
- + 8.633 DESIGN SPOT LEVELS
- PROPOSED CONCRETE INVERT
- OPTIONAL CONCRETE SLAB (REFER TO STRUCTURAL DRAWINGS)
- CTB PAVEMENT (REFER TO SHEET 02 FOR PAVEMENT DESIGN)

NOTES:

1. REFER TO SHEET 02 FOR THE PAVEMENT DESIGN.
2. CONTRACTOR IS REQUIRED TO TEST INSITU SUBGRADE AND SHOULD THE INSITU SUBGRADE BE LESS THAN CBR 3 THE CONTRACTOR IS TO CONTACT THE DESIGNER FOR SUBGRADE IMPROVEMENT DESIGN.



CIVIL WORKS PLAN
SCALE: 1:100



Rev.	Date	Description	Des.	Verif.	Appd.
C	11.03.24	TENDER ISSUE	AR	ML	BL
B	8.03.24	TENDER ISSUE	AR	ML	BL
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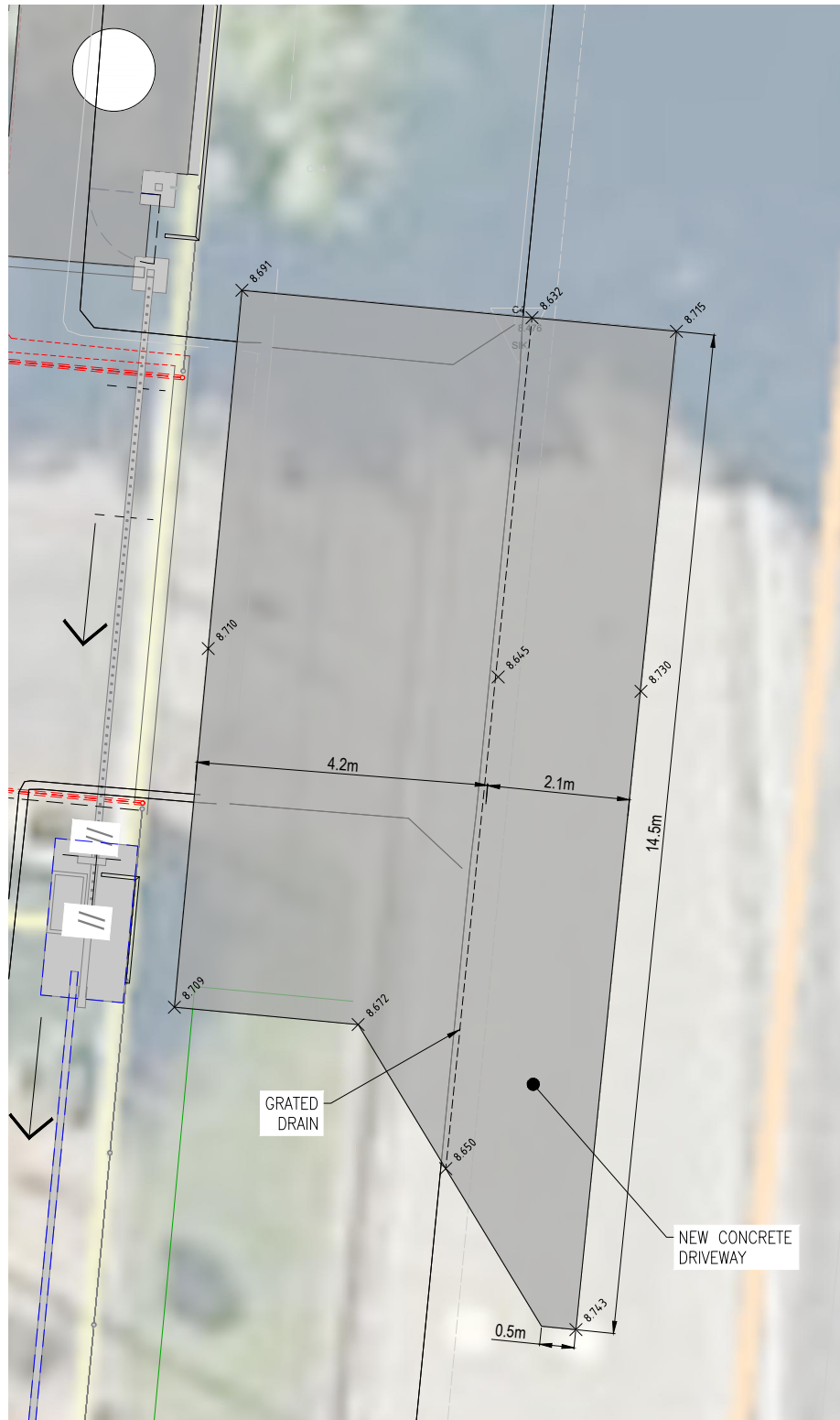


Drawn	AR	Date	16.02.24
Checked	BL	Date	16.02.24
Designed	AR	Date	16.02.24
Verified	ML	Date	16.02.24
Approved		Date	
B.LANGTREE		20.10.22	

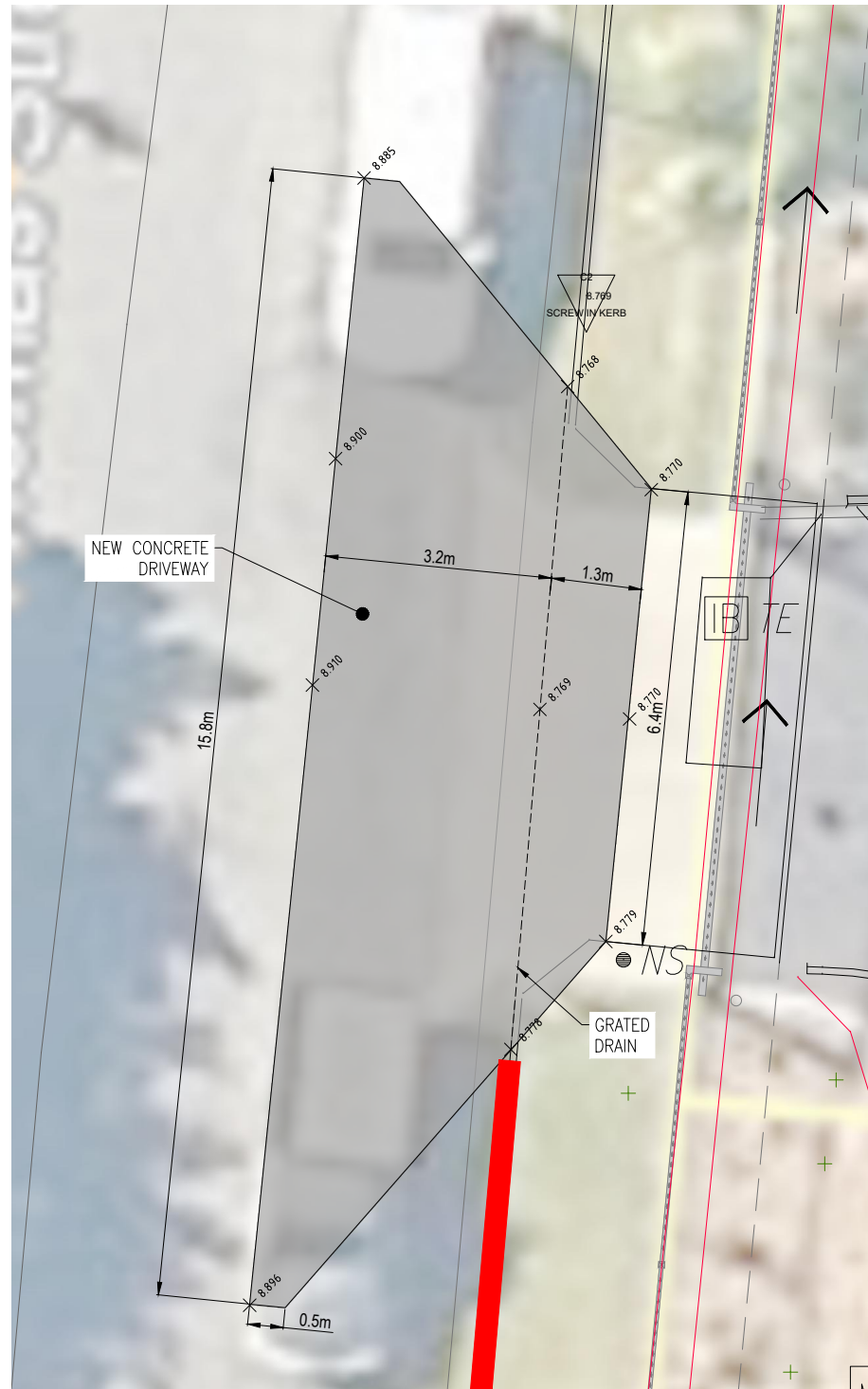
Client	ENERGY QUEENSLAND
Project	EQL MOSSMAN DEPOT LOTS 9-11 & 16-18 ON RP715930 THOMAS & INGLES STREET & ADJACENT LEASE AREA
Title	CIVIL WORKS PLAN

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Size			A1
Drawing Number	Q24034-CI-03		Revision
			C

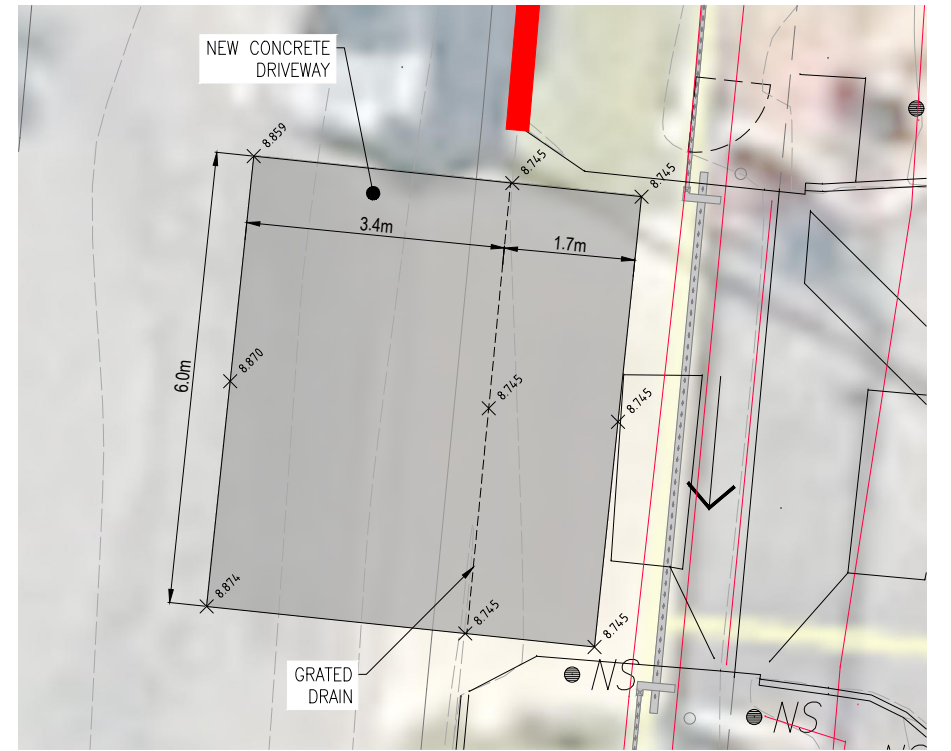
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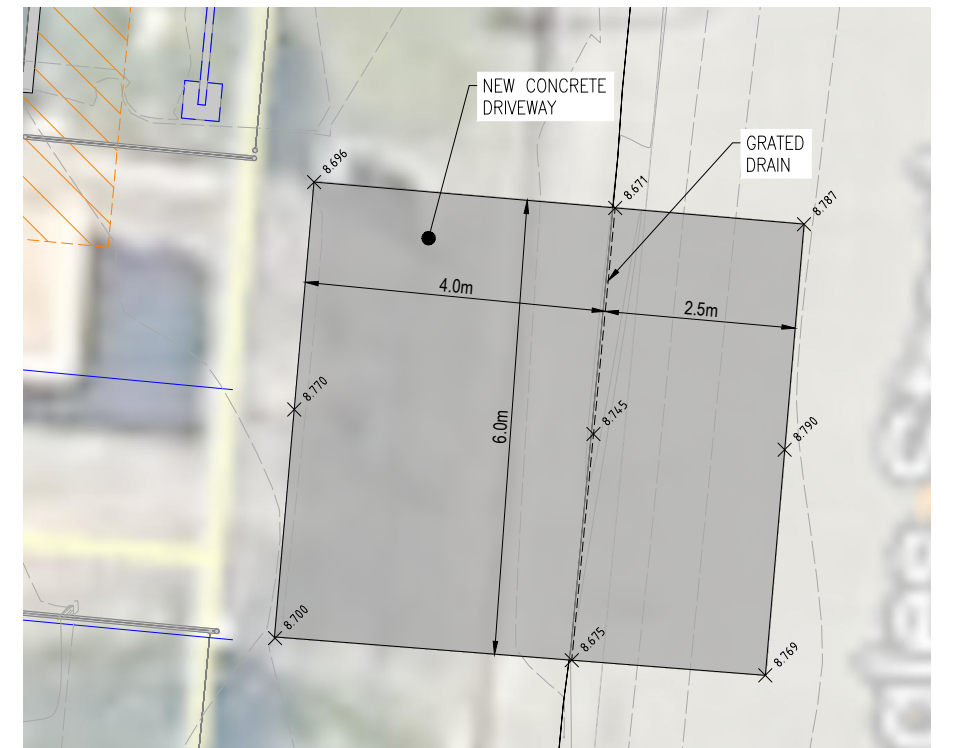
CROSSOVER 1 LAYOUT
SCALE: 1:50



CROSSOVER 2 LAYOUT
SCALE: 1:50

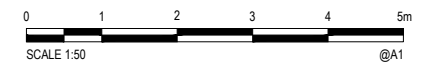


CROSSOVER 3 LAYOUT
SCALE: 1:50



CROSSOVER 4 LAYOUT
SCALE: 1:50

- NOTES:
- REFER TO CONCRETE CROSSOVER DETAILS.



CAD File: C:\Users\Adam.Reinaudo\Desktop (Langtree Consulting)\Langtree Consulting Team\Projects\1058-001_Site Levels.dwg

Rev.	Date	Description	Des.	Verif.	Appd.	
B	8.03.24	TENDER ISSUE		AR	ML	BL
A	16.02.24	FOR DA APPLICATION		AR	ML	BL



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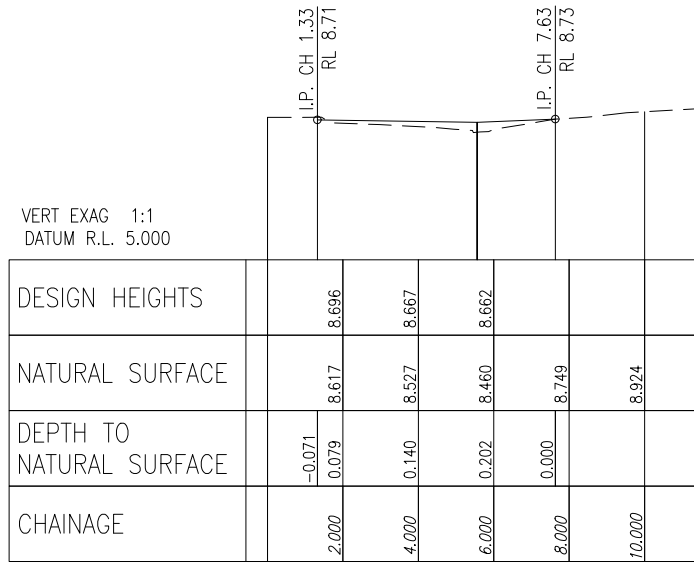
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Checked	BL	Date	16.02.24
Designed	AR	Date	16.02.24
Verified	ML	Date	16.02.24
Approved			
B.LANGTREE		Date	20.10.22

Client **ENERGY QUEENSLAND**
Project **EQL MOSSMAN DEPOT**
LOTS 9-11 & 16-18 ON RP715930 THOMAS & INGLES STREET & ADJACENT LEASE AREA
Title **CROSSOVER ACCESS PLAN**

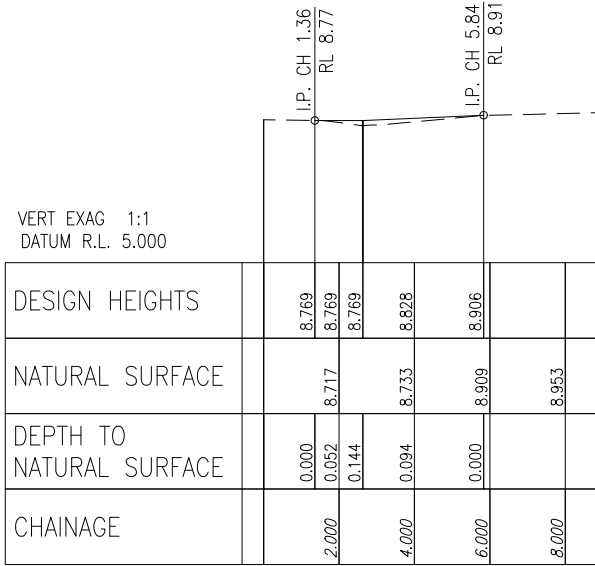
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Drawing Number **Q22020-CI-04** Revision **B**



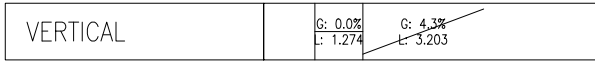
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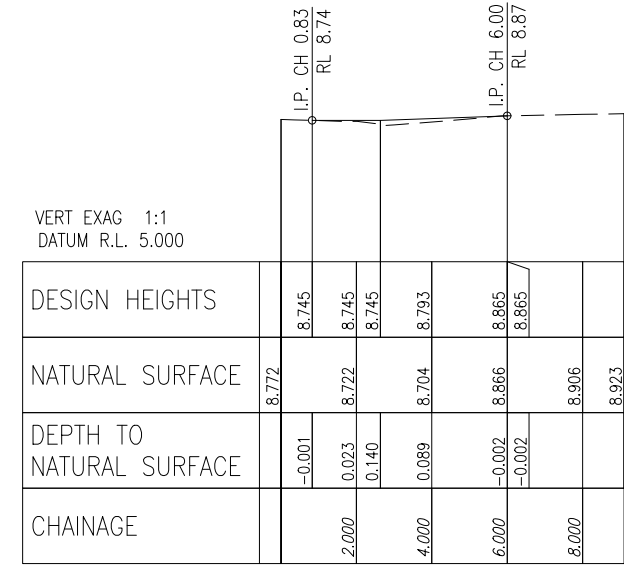
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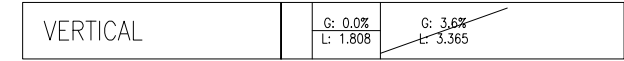
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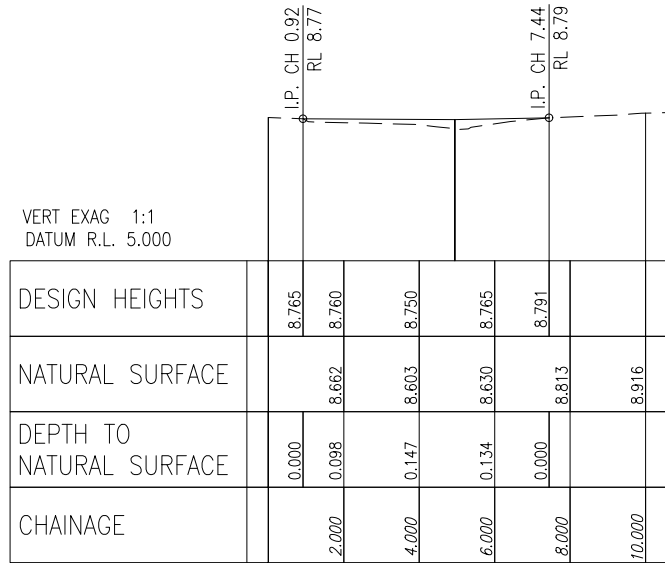
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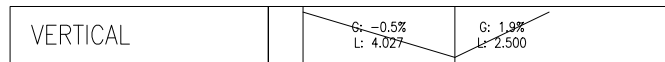
DWAY 3 LONG SECTION



CROSSOVER 3 LONG SECTION
SCALE: 1:50



DWAY 4 LONG SECTION



CROSSOVER 4 LONG SECTION
SCALE: 1:50



Rev.	Date	Description	Des.	Verif.	Appd.
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AR	16.02.24
Checked	Date
BL	16.02.24
Designed	Date
AR	16.02.24
Verified	Date
ML	16.02.24
Approved	
B.LANGTREE	16.02.24

Client **ENERGY QUEENSLAND**

Project **EQL MOSSMAN DEPOT
LOTS 9-11 & 16-18 ON RP715930 THOMAS & INGLES
STREET & ADJACENT LEASE AREA**

Title **CROSSOVER SECTION PLAN**

Status **FOR TENDER ONLY
NOT TO BE USED FOR CONSTRUCTION PURPOSES**

Datum **AHD**

Scale **AS SHOWN**

Size **A1**

Drawing Number **Q22020-CI-05**

Revision **B**