

Our Ref: 17-06/L000771
DSC Ref: CA1594/2016
Date: 23 May 2017

Chief Executive Officer
Cairns Regional Council
PO Box 359
CAIRNS QLD 4870

Dear Sir,

RE: REQUEST UNDER SECTION 369 OF SPA FOR PERMISSIBLE CHANGE TO EXISTING APPROVAL FOR RECONFIGURING A LOT AND MATERIAL CHANGE OF USE (MULTI-UNIT HOUSING) AT 24 MUDLO STREET, PORT DOUGLAS, MORE PARTICULARLY DESCRIBED AS LOT 60 ON PTD20911

We confirm that Planning Plus Pty Ltd act on behalf of ND Verri ('the Applicant') in relation to the above-described matter. We note that this application is being made under Section 369 on the *Sustainable Planning Act 2009* to facilitate 'permissible' changes to the above-described development approval.

The applicant will pay the relevant assessment fee under Council's 2016/17 Fee Schedule, being **\$917.85**, direct to Council via credit card.

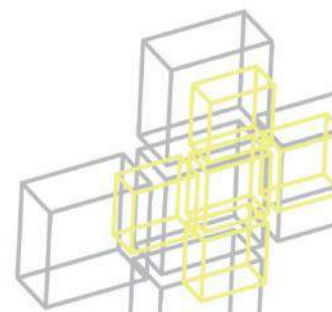
1.0 BACKGROUND

The subject development approval was issued on 23 November 2016 (copy included as **Attachment 1**). Since receipt of the approval, the applicant has taken the project to the market and feedback received to date indicates a concern about the lack of undercover car parking. To this end, the applicant is seeking changes to the proposal to introduce a roof structure over the parking area of each dwelling.

2.0 PROPOSED CHANGES

The following revised drawings are included for reference as **Attachment 2**:

- Site Plan – Sheet 0
- Floor Plans – Sheet 3
- Elevations – Sheet 4
- Area Plan Site Cover – Sheet 5
- Street-View Renders.



As noted above, this submission seeks changes to the proposal to include a roof structure over the proposed parking areas for each dwelling. This change has come about following market feedback that the lack of undercover car parking is a concern.

The applicant's concern following receipt of this feedback is that not only will this issue hamper the ability to sell the product, but that should the product still sell, that buyers may attempt to introduce their own ad-hoc shade structures. Some of these structures may not require council approval and could result in a sub-optimal outcome for the development.

The issue is further compounded by the presence of bats in the area which would further drive the need for covered car spaces on this particular site.

Taking the above into account, the applicant is proposing a high-quality, visually appealing concrete roof structure, embellished with vine-type vegetation. As is evidenced by the Street View Renders, the change blends in seamlessly with the existing approved built form and continues to achieve a highly appropriate streetscape aesthetic.

3.0 LEGISLATIVE CONSIDERATIONS

3.1 Sustainable Planning Act 2009

This section provides an overview of the legislative context of the application under the provisions of the *Sustainable Planning Act 2009*.

3.1.1 Permissible Change

We submit that the proposed changes are 'permissible' for the purpose of the *Sustainable Planning Act 2009* in that they do not contravene the requirements of Section 367. In particular, we note the following with respect to Section 367:

- a. The revised proposal does not result in a 'substantially different development'.
- b.
 - (i) The revised proposal does not trigger additional referral agencies.
 - (ii) The revised proposal does not trigger 'impact assessable' development where none previously existed.
- c. The previous application did not require impact-assessment.
- d. The revised proposal does not introduce prohibited development.

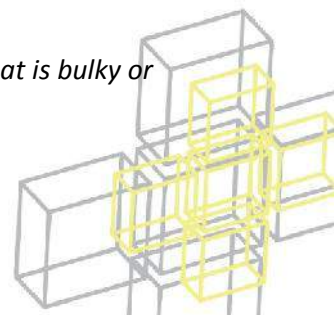
3.1.2 Assessment Manager

The Assessment Manager for this development application is Douglas Shire Council as determined by Schedule 6 of the *Sustainable Planning Regulation 2009*.

3.2 Douglas Shire Planning Scheme

It is noted that the proposed change results in an increase in site cover by approximately 8%, up from approximately 52% to approximately 60%. While this figure exceeds the Douglas Shire Council 'acceptable solution' of 45% (under the Tourist and Residential Planning Area Code), it is considered to remain compliant with the corresponding 'performance criteria' which states:

"The Site Coverage of all Buildings, other than a House, does not result in a built form that is bulky or visually obtrusive."



We submit that the proposed additional roof structure does not create a bulky or visually obtrusive built form, but rather blends in well with the existing approved built form, as discussed above.

It is further noted that the proposal is only 2 storeys in height, whereas 3 storeys is permitted on the subject site. The omission of a third level is considered to provide some leeway in terms of site cover when determining overall building bulk.

4.0 CONCLUSION

This submission supports an application by ND Verri ('the applicant') for a Permissible Change to an existing approval for Reconfiguring a Lot and Material Change of Use (Multi-Unit Housing) over land located at 24 Mudlo Street, Port Douglas, more particularly described as Lot 60 on PTD20911.

In summary, we submit that the proposed changes are considered 'permissible' for the purpose of the *Sustainable Planning Act 2009* and are unlikely to result in any unacceptable adverse impacts on the surrounding community or environment.

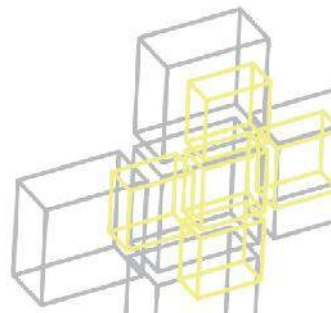
We trust this information is sufficient for your purposes, however should you require any further details or clarification please do not hesitate to contact the undersigned.

Yours Faithfully



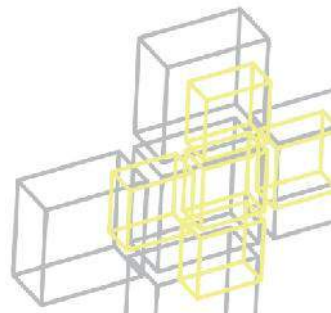
Evan Yelavich
Senior Planner
Planning Plus Pty Ltd

enc: **Attachment 1:** Decision Notice
 Attachment 2: Revised Plans



Attachment 1

Decision Notice



YOUR REF: 16-05/L000569
OUR REF: SEDA CA1594/2016 (796692)

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

23 November 2016

N D Verri
C/- Planning Plus Pty Ltd
PO Box 8046
CAIRNS QLD 4870

Attention: Mr Evan Yelavich

Dear Sir

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR 24 MUDLO STREET, PORT DOUGLAS**

With reference to the abovementioned Development Application, which was determined by Council at the Ordinary Meeting held on 22 November 2016, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

This notice also includes an Infrastructure Charges Notice issued in accordance with section 648F of the *Sustainable Planning Act 2009*.

Should you have any enquiries in relation to this Decision Notice, please contact Daniel Lamond of Development Assessment and Coordination on telephone number 07 4099 9456.

Yours faithfully



Nick Wellwood
General Manager Operations

Att

APPLICANT DETAILS

N D Verri
C/- Planning Plus Pty Ltd
PO Box 8046
CAIRNS QLD 4870

ADDRESS

24 Mudlo Street, PORT DOUGLAS

REAL PROPERTY DESCRIPTION

Lot 60 on PTD20911

PROPOSAL

Reconfiguration of a Lot & Material Change of Use for Multi-Unit Housing

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

22 November 2016

TYPE

Combined Reconfiguration of a lot and Material Change of Use (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works
Development Permit for Operational Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
Site	Sheet 1, Prepared by Nathan Verri.	19 July 2016
Floor Plans	Sheet 2, Prepared by Nathan Verri.	19 July 2016
Elevations	Sheet 3, Prepared by Nathan Verri.	19 July 2016
Area Plan General	Sheet 4, Prepared by Nathan Verri.	19 July 2016
Area Plan Site Cover	Sheet 5, Prepared by Nathan Verri.	19 July 2016
Area Plan Gross Floor Area	Sheet 6, Prepared by Nathan Verri.	19 July 2016
3D Views NE & NW	Sheet 7, Prepared by Nathan Verri.	19 July 2016
3D Views SE & SW	Sheet 8, Prepared by Nathan Verri.	19 July 2016
Pictorial NE & NW	Sheet 9, Prepared by Nathan Verri.	19 July 2016
Pictorial SE & SW	Sheet 10, Prepared by Nathan Verri.	19 July 2016

ASSESSMENT MANAGER CONDITIONS:

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Air-conditioning Screens

3. Air-conditioning units located above ground level and visible from external properties and the street must be screened with appropriate materials to improve the appearance of the building. Such screening must be completed prior to the Commencement of Use.

Damage to Council Infrastructure

4. In the event that any part of Council's existing sewer/water or road infrastructure is damaged as a result of construction activities occurring on the site, the applicant/owner must notify Council immediately of the affected infrastructure and have it repaired or replaced at no cost to Council.

Water Supply and Sewerage Works External

5. Undertake the following water supply and sewerage works external to the site to connect the site to existing water supply and sewerage infrastructure:
 - a. Augment existing water supply infrastructure to provide adequate water supply to the development. The extension of the water main must have regard to the ultimate configuration of the development;
 - b. Augment existing sewer main to ensure each proposed unit is adequately controlled by sewer;
 - c. Upgrade to the extent necessary water supply and sewer connections to cater for the demand of the development;

The external works outlined above constitute Operational Works. Approval for Operational Works must be obtained prior to the issue of a Development Permit for Building Work. Such works must be designed and constructed in accordance with the FNQROC Development Manual. All works must be completed in accordance with the endorsed plan to the satisfaction of the Chief Executive Officer prior to Commencement of Use.

Vehicle Parking

6. The car parking layout must comply with the Australian Standard AS2890.1 2004 Parking Facilities – off-street car parking and be constructed in accordance with Austroads and good engineering design. In addition, all parking, driveway and vehicular manoeuvring areas must be imperviously sealed, drained and line marked.

Lighting

7. All lighting installed upon the premises including car parking areas must be certified by Ergon Energy (or such other suitably qualified person). The vertical illumination at a distance of 1.5 metres outside the boundary of the subject land must not exceed eight (8) lux measured at any level upwards from ground level.

Protection of Significant Street Trees

8. Undertake a survey identifying the street trees at the Beryl Street verge. Indicate the diameter, canopy cover and root sprawl of the significant street trees. Detail how the proposed access to each dwelling relates to each of the significant street trees and how this may effect a consequent amendment to design.

An investigation to develop the most appropriate driveway access and to determine the least impact on the significant street trees within the road reserve of Beryl Street must be undertaken by an appropriately qualified arborist. Regard must be given to Australian Standard 4970-2009/Amdt 1-2010 (Protection of Trees on Development Sites). This investigation will be paramount in determining driveway access and footpath development. A plan detailing the above requirements must be submitted to Council for endorsement by the Chief Executive Officer prior to the issue of the development permit for building work.

External Works

9. Undertake the following works external to the land at no cost to Council:
- a. Provide three vehicle crossovers and aprons to Beryl Street. The location and design of the access must not detrimentally impact on the significant street trees on the road verge of Beryl Street. The location and the design of vehicle access to the site will be in accordance with advice and recommendations of an appropriately qualified arborist to ensure the health of the trees as detailed in other conditions of the Development Permit;
 - b. Undertake planting of a 600mm wide garden bed with appropriate species along the exterior edge of the perimeter fence on the Mudlo and Beryl Street road reserve.
 - c. Construct a 1500mm wide concrete footpath across the Beryl Street frontage in accordance with the FNQROC Development Manual. The footpath must not detrimentally impact on the significant street trees on the road verge of the street.
 - d. Repair any damage to existing roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drain lines) that may occur during and works carried out in association with the construction of the approved development.

Three (3) copies of a plan of the works at A1 size and one (1) copy at A3 size of the above works must be endorsed by the Chief Executive Officer. Such work must be constructed in accordance with the endorsed plan to the satisfaction of the Chief Executive Officer prior to Commencement of Use.

Timing of Lot Reconfiguration

10. The development of the multi-unit housing component of the application must be complete prior to Council endorsement of survey plans.

Demolish Structures

11. All structures not associated with the approved development (including disused services and utilities) must be demolished and/or removed from the subject land prior to Commencement of Use.

Stockpiling and Transportation of Fill Material

12. Soil excavated from the site is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the commencement of works.

Transportation of fill or spoil to and from the site must not occur within:

- a. peak traffic times;
- b. before 7:00 am or after 6:00 pm Monday to Friday;
- c. before 7:00 am or after 1:00 pm Saturdays; or
- d. on Sundays or Public Holidays.

Emissions

13. Dust emissions or other air pollutants, including odours, must not extend beyond the boundary of the site and cause a nuisance to surrounding properties.

Storage of Machinery and Plant

14. The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties, to the satisfaction of the Chief Executive Officer.

Landscaping Plan

15. The site must be landscaped in accordance with details included on a Landscaping Plan. The Landscaping Plan must detail the following:
- a. Deep planting of setback areas and planter beds within the development;
 - b. Landscaping of areas and treatments external to the development as detailed in conditions of approval;
 - c. Include any other relevant conditions included in this Development Permit. A copy of this Development Approval must be given to the applicant's Landscape Architect/Designer.

Two (2) A1 copies and one (1) A3 copy of the landscape plan must be endorsed by the Chief Executive Officer. The approval and completion of all landscaping works must be undertaken in accordance with the endorsed plan prior to the issue of a Certificate of Classification or Commencement of Use whichever occurs first. Landscaped areas must be maintained at all times to the satisfaction of the Chief Executive Officer.

Lawful Point of Discharge

16. All stormwater from the property must be directed to a lawful point of discharge being Mudlo Street or Beryl Street, such that it does not adversely affect surrounding properties or properties downstream from the development.

Ponding and/or Concentration of Stormwater

17. The proposed development is not to create ponding nuisances and/or concentration of stormwater flows to adjoining properties.

Minimum Fill and Floor Levels

18. All floor levels in all buildings must be located 300mm above the Q100 flood immunity level, plus any hydraulic grade effect (whichever is the greater), in accordance with FNQROC Development Manual and Planning Scheme requirements.

Sediment and Erosion Control

19. Soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the Environmental Protection Act 1994, and the FNQROC Development Manual).

Refuse Storage Area

20. The refuse bin enclosure must be roofed, bunded, and connected to sewer with a bucket trap. A hose cock fitting must also be provided to the refuse facility.

Construction Signage

21. Prior to the commencement of any construction works associated with the development, a sign detailing the project team must be placed on the road frontage of the site and must be located in a prominent position. The sign must detail the relevant project coordinator for the works being undertaken on the site, and must list the following parties (where relevant) including telephone contacts:
 - a. Developer;
 - b. Project Coordinator;
 - b. Architect/Building Designer;
 - c. Builder;
 - d. Civil Engineer;
 - e. Civil Contractor;
 - g. Landscape Architect.

Sediment and Erosion Control

22. Soil and water management measures must be installed / implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the Environmental Protection Act 1994, and the FNQROC Development Manual).

Boundary Fence Height

23. Advice is to be sought by an RPEQ certified traffic engineer or equivalent pertaining to the perimeter fence height at the corner of Mudlo and Beryl Street. The advice is to determine whether the fence needs to be truncated or lowered.

Plan of Subdivision

24. A Plan illustrating the future reconfiguration of the lot must be submitted to Council for endorsement by the Chief Executive Officer prior to the issue of a development permit for building work.

RECONFIGURATION OF A LOT

APPROVED DRAWING(S) AND / OR DOCUMENT(S)

The term 'approved drawing(s) and / or document(s)' or other similar expressions means:

Drawing or Document	Reference	Date
Sub-division plan to be provided	TBA	TBA

ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
- The specifications, facts and circumstances as set out in the application submitted to Council; and
 - The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Fire Separation

3. The boundary placement between each dwelling must be in accordance with the National Construction Code and in particular, the building setbacks from the side boundaries must comply with the fire regulations within the code.

Timing of Lot Reconfiguration

4. The development of the Multi-Unit Housing component of the application must be complete prior to Council endorsement of survey plans.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse **four (4) years** from the day the approval takes effect in accordance with the provisions of sections 339 and 341 of the *Sustainable Planning Act 2009*.
2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.

Infrastructure Charges Notice

4. A charge levied for the supply of trunk infrastructure is payable to Council towards the provision of trunk infrastructure in accordance with the Adopted Infrastructure Charges Notice, a copy of which is attached for reference purposes only. The original Adopted Infrastructure Charges Notice will be provided under cover of a separate letter.

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

Please note that this Decision Notice and the Adopted Infrastructure Charges Notice are stand-alone documents. The Sustainable Planning Act 2009 confers rights to make representations and appeals in relation to a Decision Notice and an Adopted Infrastructure Charges Notice separately.

The amount in the Adopted Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact Development Assessment and Coordination at Council for review of the charge amount prior to payment.

The time when payment is due is contained in the Adopted Infrastructure Charges Notice.

5. For information relating to the *Sustainable Planning Act 2009* log on to www.dilgp.qld.gov.au. To access the *FNQROC Development Manual*, Local Laws and other applicable Policies, log on to www.douglas.qld.gov.au.

LAND USE DEFINITIONS*

In accordance with the *Douglas Shire Planning Scheme 2006*, the approved land use of Multi-Unit Housing is defined as:

Multi-Unit Housing

Means the use of premises comprising two or more dwelling units on one lot for residential purposes.

The use includes accommodation commonly described as:

- *duplexes;*
- *flats;*
- *home units;*
- *apartments;*
- *townhouses;*
- *villa houses; or*
- *a display unit which displays to the general public the type of construction or design offered by the builder/developer, for a maximum period of twelve (12) months and which is then demolished if a freestanding replica or converts to its intended use within the complex.*

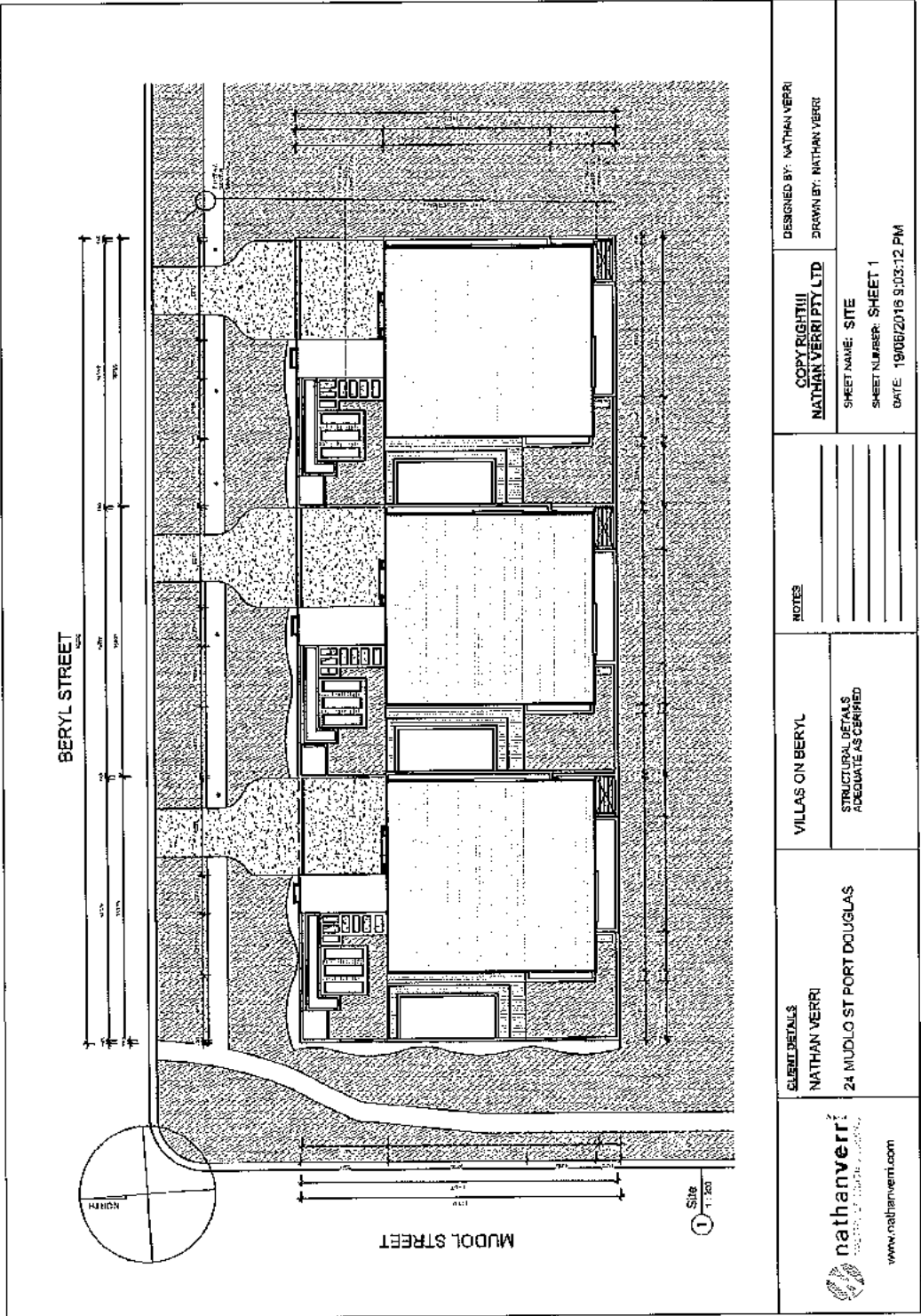
*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

RIGHTS OF APPEAL

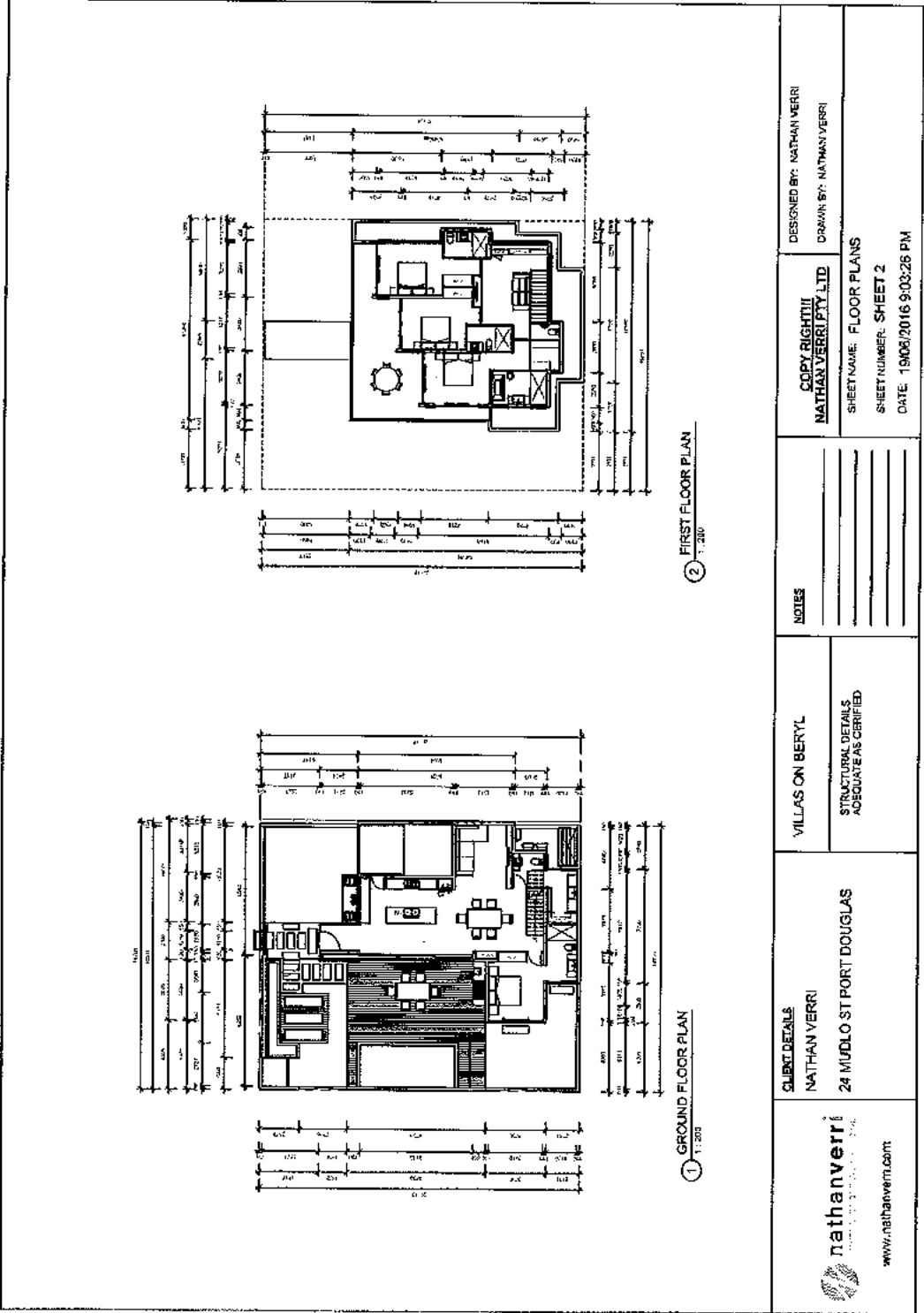
Attached

End of Decision Notice

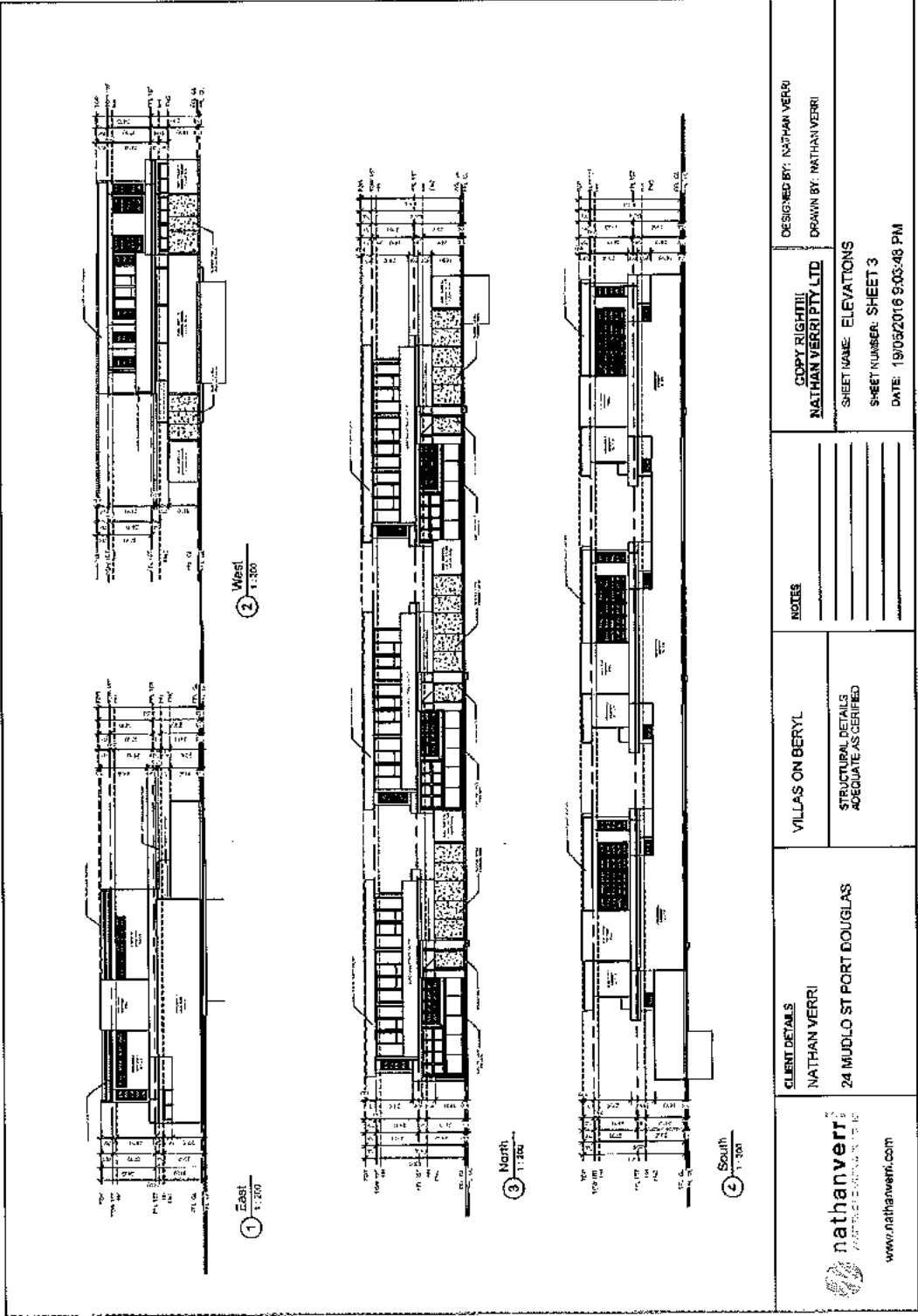
APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)




DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

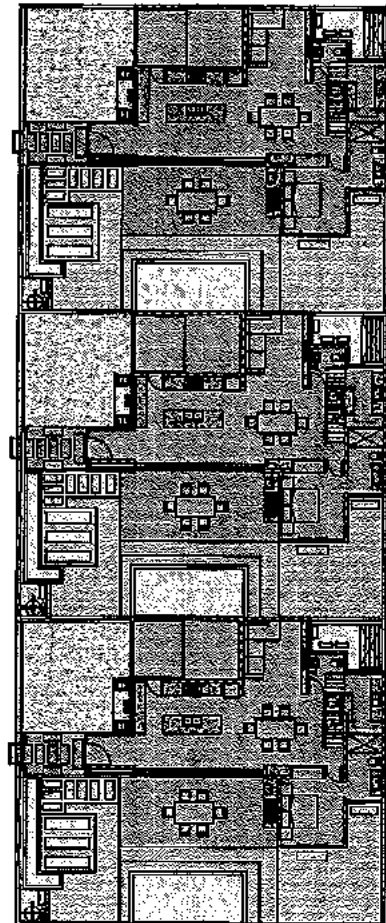


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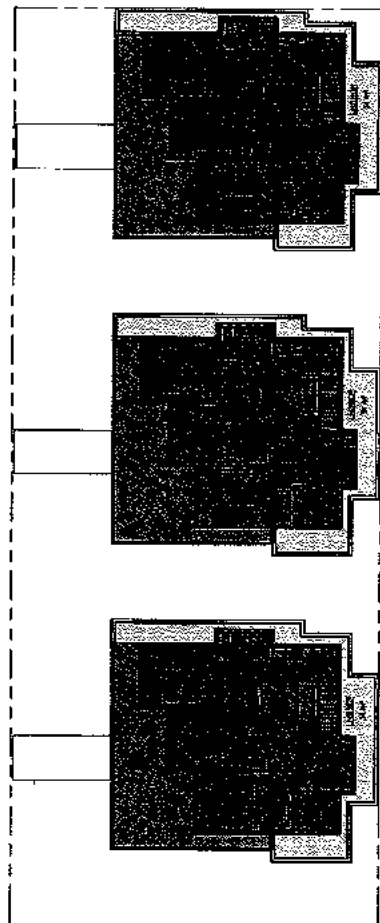


 nathanverri ARCHITECTS & ENGINEERS www.nathanverri.com	CLIENT DETAILS NATHAN VERRI 24 MUDLO ST PORT DOUGLAS	VILLAS ON BERYL	NOTES <
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DECISION NOTICE DETAILS



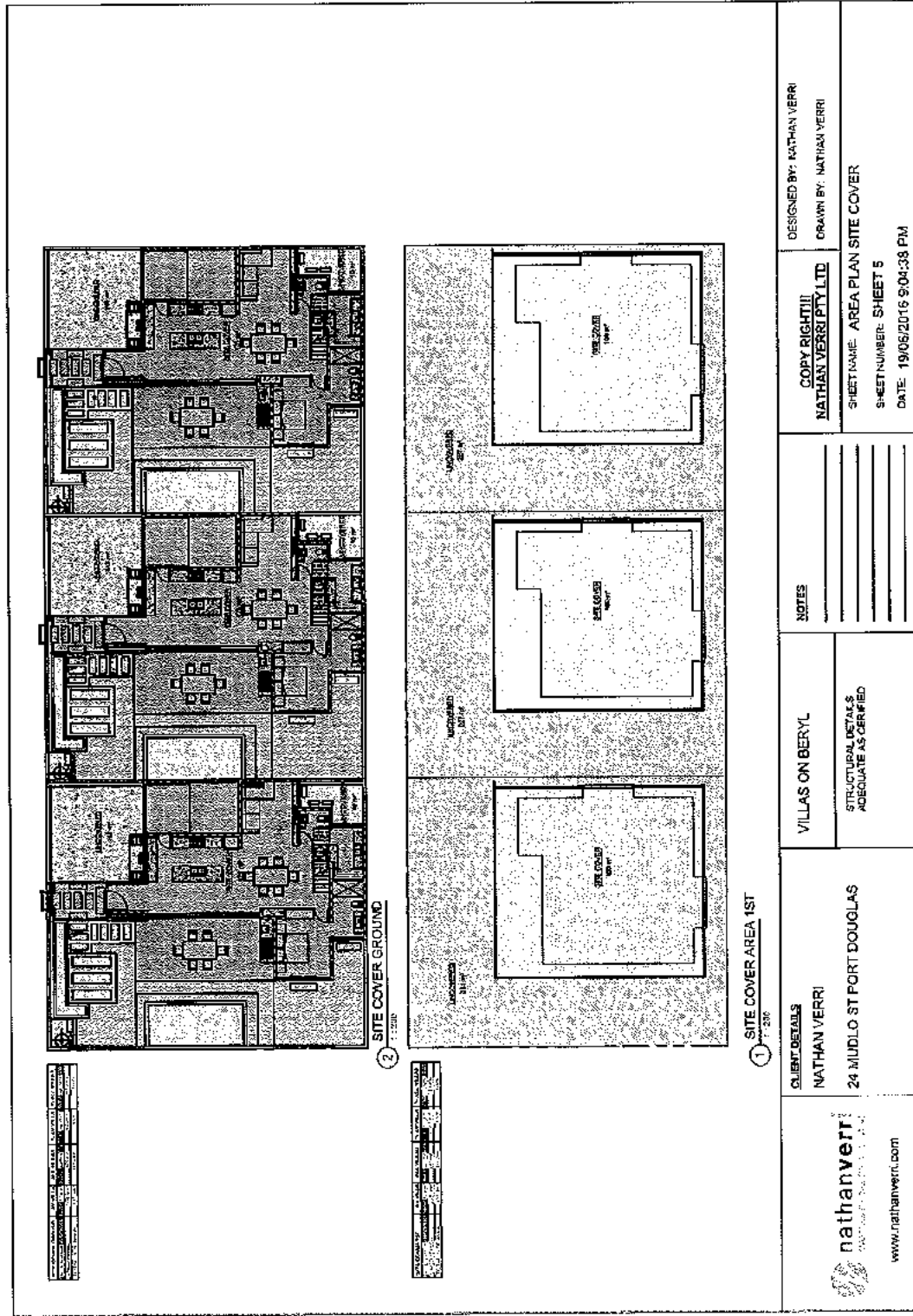
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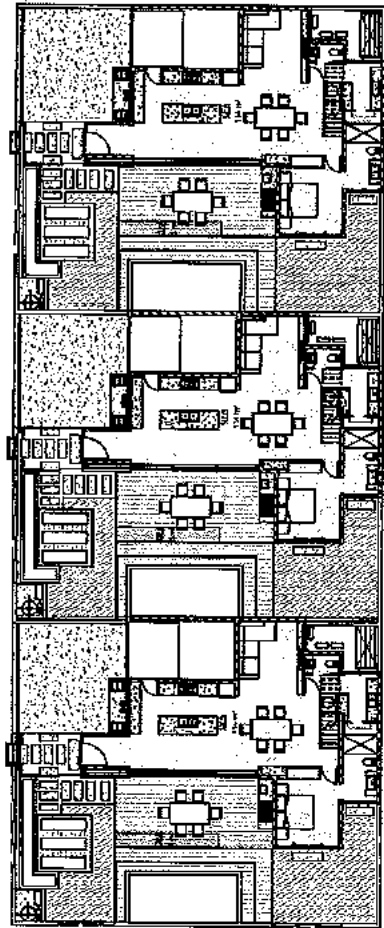
nathanverri ARCHITECTS & INTERIORS	CLIENT DETAILS NATHAN VERRI 24 MUDDLO ST PORT DOUGLAS	VILLAS ON BERYL	NOTES 	COPY RIGHT!!! NATHAN VERRI PTY LTD	DESIGNED BY: NATHAN VERRI DRAWN BY: NATHAN VERRI
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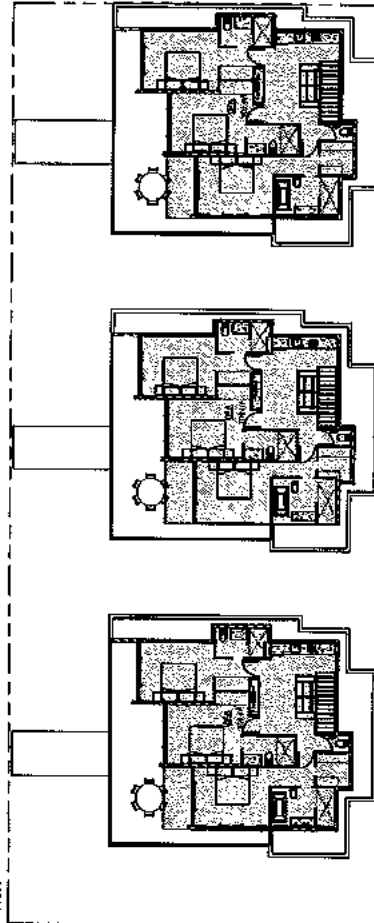


nathanverri <small>ARCHITECTS & PLANNERS</small> www.nathanverri.com	CLIENT DETAILS NATHAN VERRI 24 MIDLO ST PORT DOUGLAS	VILLAS ON BERYL STRUCTURAL DETAILS ADEQUATE AS CERTIFIED	NOTES 	COPY RIGHT!!! NATHAN VERRI PTY LTD	DESIGNED BY: NATHAN VERRI DRAWN BY: NATHAN VERRI

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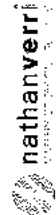


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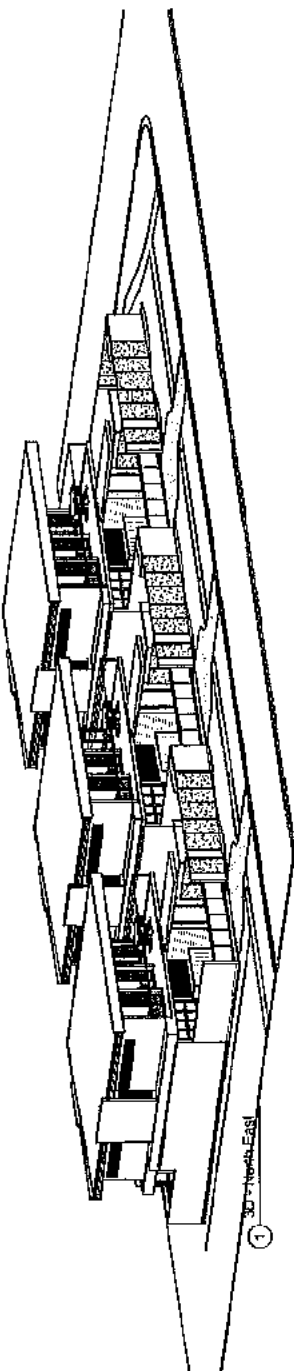


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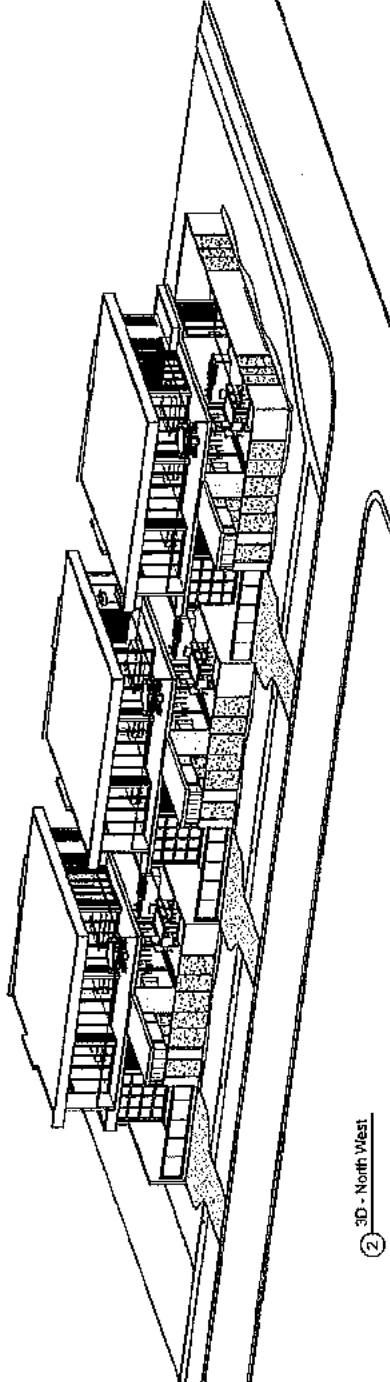
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COPY RIGHT: NATHAN VERRI PTY LTD	SHEET NAME: AREA PLAN GROSS FLOOR AREA
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 www.nathanverri.com	CLIENT DETAILS NATHAN VERRI 24 MUDLO ST PORT DOUGLAS	VILLAS ON BERYL	NOTES	DESIGNED BY: NATHAN VERRI DRAWN BY: NATHAN VERRI
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DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009



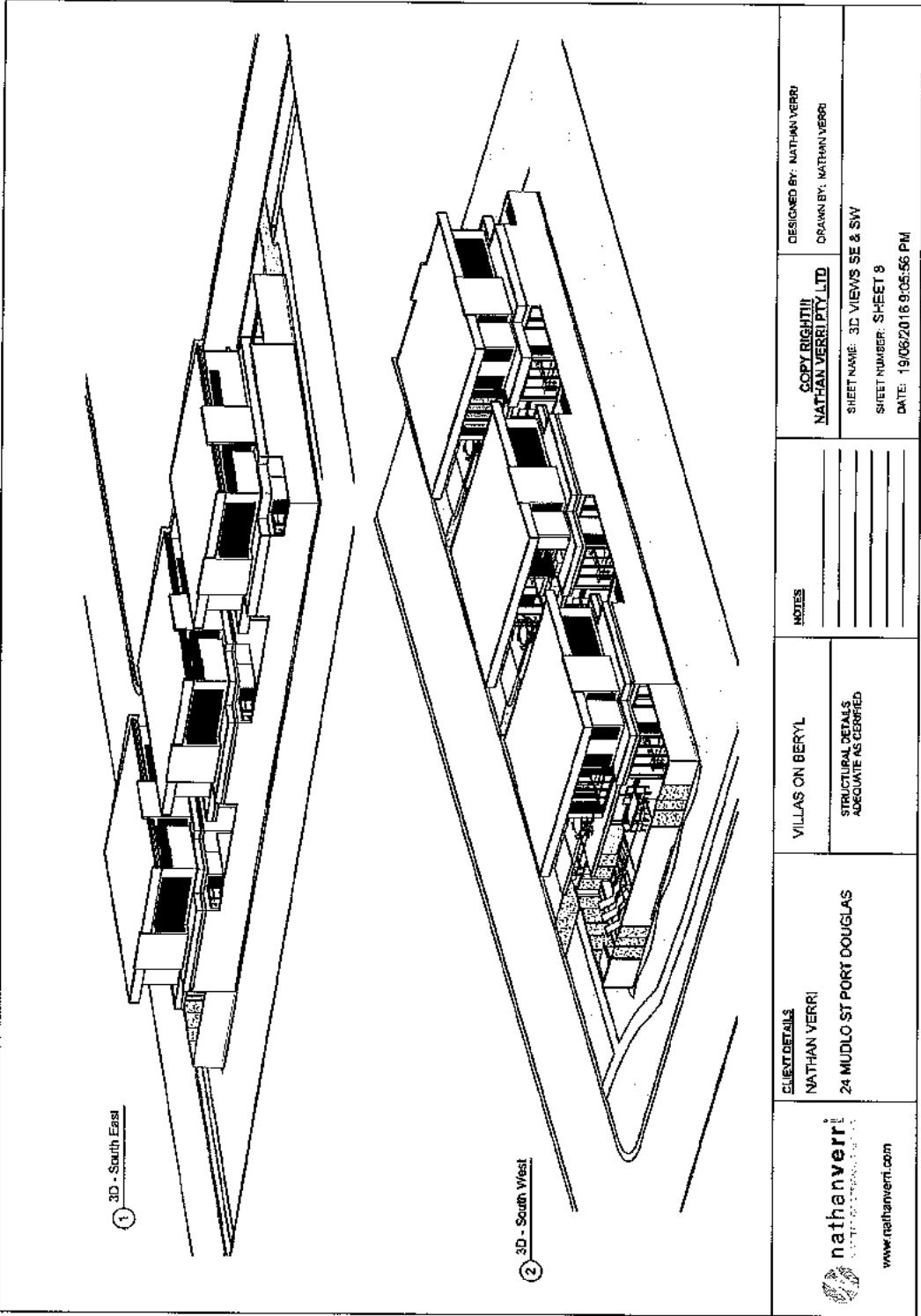
① 3D - North East




② 3D - North West

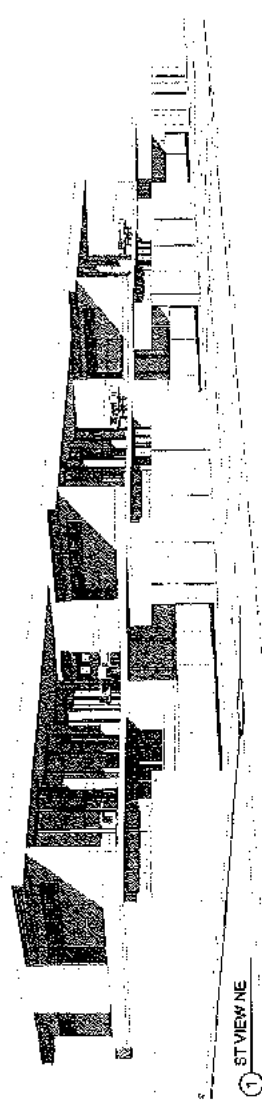
 nathanverrill <small>ARCHITECTS & PLANNERS</small> www.nathanverrill.com	CLIENT DETAILS NATHAN VERRILL 24 MUDLO ST PORT DOUGLAS	VILLAS ON BERYL	NOTES 	COPY RIGHT!!! NATHAN VERRILL PTY LTD	DESIGNED BY: NATHAN VERRILL DRAWN BY: NATHAN VERRILL
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DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

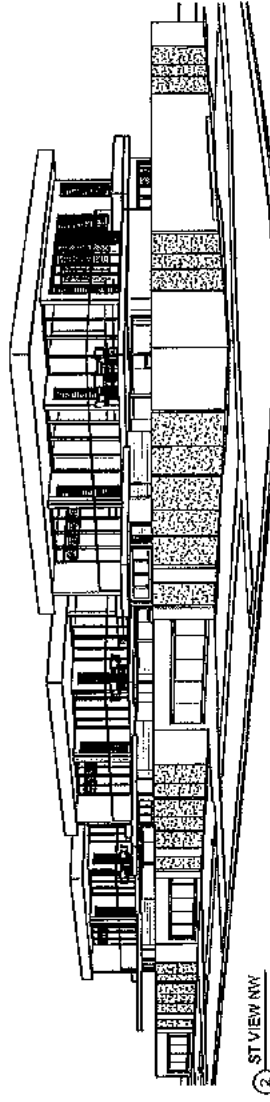


 nathanverri ARCHITECTS & INTERIORS www.nathanverri.com	CLIENT DETAILS NATHAN VERRI 24 MUDLO ST PORT DOUGLAS	VILLAS ON BERYL	NOTES	COPY RIGHT III NATHAN VERRI PTY LTD	DESIGNED BY: NATHAN VERRI DRAWN BY: NATHAN VERRI	
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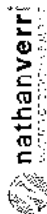
DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009



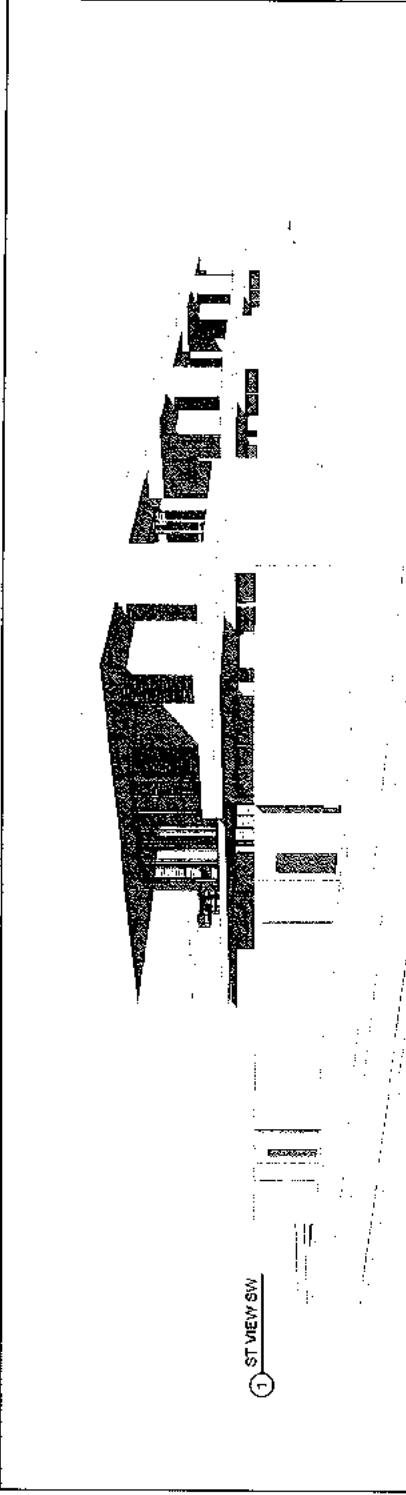
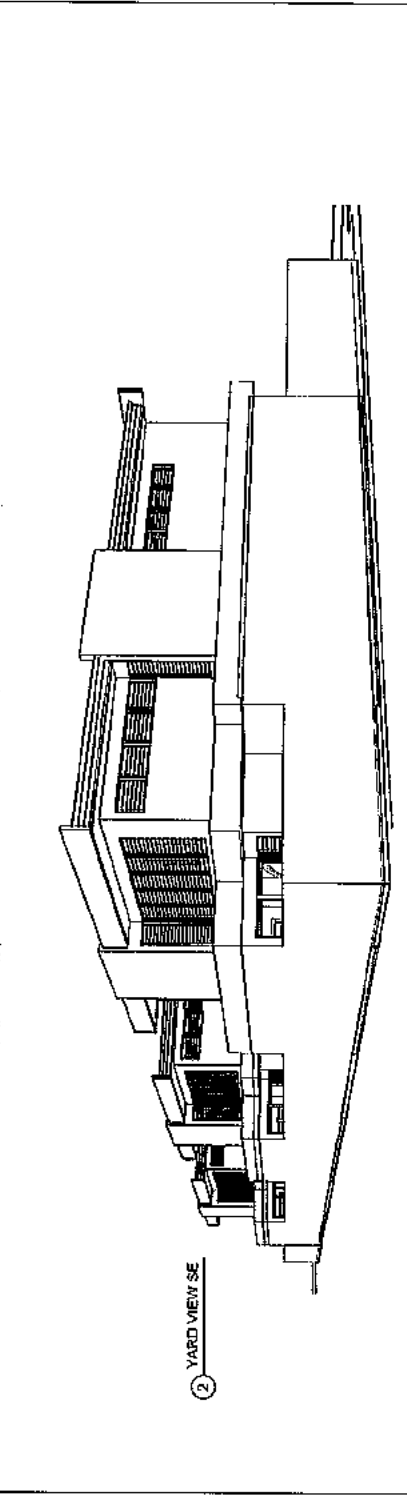
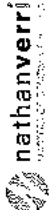
1 ST VIEW NE



2 ST VIEW NW

 www.nathanverri.com	CLIENT DETAILS NATHAN VERRI 24 MUDLO ST PORT DOUGLAS	VILLAS ON BERYL STRUCTURAL DETAILS ADEQUATE AS CERTIFIED	NOTES 	COPYRIGHT NATHAN VERRI LTD SHEET NAME: PICTORIALS NE & NW SHEET NUMBER: SHEET 9 DATE: 19/08/2016 9:06:26 PM	DESIGNED BY: NATHAN VERRI DRAWN BY: NATHAN VERRI
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DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

				DESIGNED BY: NATHAN VERRI DRAWN BY: NATHAN VERRI	
COPY RIGHT NATHAN VERRI PTY LTD		SHEET NAME: PICTORIAL SE & SW SHEET NUMBER: SHEET 10 DATE: 19/06/2016 9:06:54 PM		NOTES	
CLIENT DETAILS NATHAN VERRI 24 MIDLO ST PORT DOUGLAS		VILLAS ON BERYL STRUCTURAL DETAILS ADEQUATE AS CERTIFIED			
 www.nathanverri.com					

YOUR REF: 16-05/L000569
OUR REF: SEDA CA1594/2016 (796692)

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

23 November 2016

N D Verri
C/- Planning Plus Pty Ltd
PO Box 1334
MOSSMAN QLD 4873

Dear Sir

**ADOPTED INFRASTRUCTURE CHARGES NOTICE FOR
24 MUDLO STREET, PORT DOUGLAS**

Please find attached an Adopted Infrastructure Charges Notice issued in accordance with section 648F of the *Sustainable Planning Act 2009* (the Act).

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

These charges are payable prior to the change of use occurring, or prior to the issue of a Compliance Certificate for the Building Format Plan, or which ever occurs first, in accordance with section 648H of the Act.

These charges are payable prior to the issue of a Compliance Certificate for the Plan of Subdivision.

Please also find attached extracts from the Act regarding the following:

- your right to make representations to Council about the Adopted Infrastructure Charges Notice; and
- your Appeal rights with respect to the Adopted Infrastructure Charges Notice.

Should you have any enquiries in relation to this Adopted Infrastructure Charges Notice, please contact Daniel Lamond of Development Assessment and Coordination on telephone number no 4099 9456.


Yours faithfully



Nick Wellwood
General Manager Operations
Att

47.2016.1594
21/22

INFRASTRUCTURE CHARGES NOTICE

		2008 & 2009 Douglas Shire Planning Schemes Application	
INFRASTRUCTURE CHARGES NOTICE			
NARRAG VENT DEVELOPER NAME		0 ESTATE NAME	
24 Mudie Street STREET No. & NAME		Port Douglas SUBURB	
Combined, ROL & MCU DEVELOPMENT TYPE		Lot 60 on PTD20941 LOT & RP No. &	
755231 DSO Reference Doc. No.		16142114 COUNCIL FILE	
1 VERSION No.		1003 STAGE	
		Four (4) PARCEL No.	
		VALIDITY PERIOD (years)	

	Use	Charge per Unit	Amount Due	Amount Paid	Receipt Code & OL Code
Rural Areas - Water Only	proposed		0.00		
	existing	0	0.00		
	Total		0.00		
Urban Areas - Water only	proposed	0	0.00		
	existing	0	0.00		
	Total		0.00		
Urban Areas - Water & Sewer	proposed Multiple Dwelling	11,423.71	34,421.13		
	existing House	14,342.13	0.00		
	Total		29,079.00		
TOTAL			29,079.00		

Prepared by	D Lanning	10-Nov-16	Amount Paid	
Checked by	M Bath	11-Nov-16	Date Paid	
Date Payable				
Amendment	Date			
				Receipt No.
				Cost/Unit

Note:

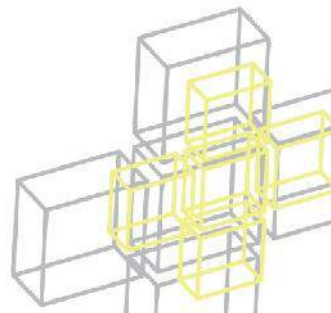
The Infrastructure Charges in this Notice are payable in accordance with Part 7 Division 1 of the Sustainable Planning Act 2009 (SPA).

Charges are payable to Douglas Shire Council. You can make payment at any of Council's Business Offices or by mail with your cheque or money order to Douglas Shire Council, PO Box 723, Massman QLD 4873. Cheques must be made payable to Douglas Shire Council and marked 'Not Negotiable'. Acceptance of a cheque is subject to collection of the proceeds. Post dated cheques will not be accepted.

Any enquiries regarding Infrastructure Charges can be directed to the Development & Environment, Douglas Shire Council on 07 4059 9444 or by email on enquiries@douglas.qld.gov.au

Attachment 2

Revised Plans



MUDLO STREET VILLAS

LOT 60 / PTD20911 - 24 MUDLO STREET PORT DOUGLAS Q 4877

BERYL

STREET

MUDLO STREET

SITE PLAN - PROPOSED

1 : 100

GENERAL

- ALL WORKS SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA 2016 AND AMENDMENTS, AS1684.3-2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION PART 3 AND AMENDMENTS.

- ALL RELEVANT STANDARDS, LOCAL AUTHORITY BY-LAWS AND REGULATIONS AND WORKPLACE HEALTH & SAFETY REGULATIONS. ACCREDITED BUILDING PRODUCTS REGISTER AND MANUFACTURERS CURRENT WRITTEN SPECIFICATIONS AND RECOMMENDATIONS. BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY SITE WORKS OR WORKSHOP DRAWINGS.

- DO NOT SCALE DRAWINGS - TAKE FIGURED DIMENSIONS. SUBSTITUTION OF ANY STRUCTURAL MEMBERS AND/OR ANY WALL VOID VARIATION TO ANY PART OF THE DESIGN & ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING.

SERVICE LOADS:

- THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS UNLESS NOTED OTHERWISE: 0.25 kPa ROOF, 1.50 kPa INTERNAL SUSPENDED FLOORS, 3.00 kPa EXTERNAL SUSPENDED FLOORS, 1.50 kPa GROUND FLOORS LIVE LOADS TO AS 1170 PART 1 REGION C, DESIGN GUST WIND SPEED 50m/s PERMISSIBLE, 61m ULTIMATE LIMIT STATE

SITE PREPARATION:

- STRIP BUILDING SITE OF ALL TOPSOIL AND ORGANICS.
- BUILDING PLATFORM AND PAVEMENT SUPPORT AREAS SHOULD BE UNIFORMLY COMPACTED BY HEAVY SURFACE ROLLING TO A MINIMUM DRY DENSITY RATIO OF 95% SRD. SOFT SPOTS ENCOUNTERED DURING COMPACTION TO BE TREATED BY TYPING, DRYING AND RECOMPACTION.
- THE USE OF VIBRATORY ROLLERS FOR EARTHWORKS COMPACTION MAY CAUSE SIGNIFICANT GROUND VIBRATION AND CAREFUL SITE CONTROL OR THE USE HEAVY STATIC COMPACTION PLANT WILL BE REQUIRED TO AVOID DAMAGE TO ADJOINING MASONRY BUILDINGS.
- ALL FILL MATERIAL TO BE OF LOW PLASTICITY (PI<15) GRANULAR SELECT FILL, PLACED IN LAYERS NOT MORE THAN 200mm COMPACTED THICKNESS, AND UNIFORMLY COMPACTED TO A MINIMUM DRY DENSITY RATION OF 95% SRD.
- BUILDER TO SURVEY SITE PRIOR TO COMMENCEMENT OF EARTHWORKS AND CONSTRUCT BUILDING PLATFORM TO A LEVEL SUCH THAT ALL SURFACE WATER IS DIRECTED AWAY FROM THE BUILDING TO A SATISFACTORY DRAINAGE OUTLET.
- BUILDER SHALL ENSURE THAT SUITABLE AND APPROPRIATE VEHICULAR ACCESS IS PROVIDED TO THE BUILDING.
- BUILDER SHALL ENSURE THAT SUITABLE SOIL EROSION BARRIERS ARE INSTALLED COMPLYING WITH EPA AND LOCAL AUTHORITY REQUIREMENTS.
- REFER TO SOIL TEST CLASSIFICATION CARRIED OUT BY DIRT PROFESSIONALS - REPORT No. 18457 DATE: 16.12.2016
- SITE TO BE RE TESTED AFTER ROLLER COMPACTION FOLLOWED BY ENGINEER CONSULTATION AND POSSIBLE ENGINEERING ALIGNMENTS DEPENDANT FORMWORK SHALL GENERALLY COMPLY WITH SECTION 19 OF AS3600.
- STRIPPING OF FORMWORK SHALL COMPLY WITH SECTION 19 OF AS3600.

CONCRETE STRENGTH:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS3600.
- N20 GRADE CONCRETE TO ALL FOOTINGS
- N32 GRADE CONCRETE TO SLABS

CONCRETE
- CONCRETE SPECIFICATION UNLESS NOTED OTHERWISE:
ELEMENT CLASS & GRADE MAX. AGG. MAX. SLUMP
GROUND SLAB N32 20mm 80mm
FOOTINGS N20 20mm 80mm
CORE FILL S20 10mm 230mm

REINFORCEMENT NOTATION:
N DENOTES GRADE D5000 HOT ROLLED REBAR TO AS4671.
S DENOTES GRADE D2500 HOT ROLLED REBAR TO AS4671.
R DENOTES GRADE R500L COLD DRAWN ROUND WIRE TO AS4671.
W DENOTES GRADE R500L COLD DRAWN ROUND WIRE TO AS4671.
D/W DENOTES GRADE D500L COLD DRAWN RIBBED WIRE TO AS4671.
CONCRETE SIZES SHOWN ARE MINIMUM AND DO NOT INCLUDE APPLIED FINISHES.
DO NOT REDUCE OR HOLE CONCRETE WITHOUT SUPERINTENDENT'S APPROVAL.
DO NOT PLACE CONDUITS, PIPES AND THE LIKE WITHIN THE COVER CONCRETE.
FORMWORK SHALL GENERALLY COMPLY WITH AS3610
STRIPPING OF FORMWORK SHALL COMPLY WITH SECTION 19 OF AS3600.

FOOTINGS & SLABS:

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 100kPa & CLASS 'P' SITE CLASSIFICATION ACCORDING TO A.S. 2870.
- BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION.
- NATURAL FOUNDATIONS TO BE GRUBBED OUT & FREE OF ORGANIC MATTER & DEBRIS & COMPACTED TO A MIN. 95% SRD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% DENSITY INDEXED FOR COHESIONLESS SOILS.
- NATURAL FOUNDATIONS TO BE GRUBBED OUT & FREE OF ORGANIC MATTER & DEBRIS & COMPACTED TO A MIN. 95% SRD AT -5% TO +2% OF THE OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% SRD FOR COHESIONLESS SOILS.
- FOOTING TRENCHES SHALL BE CLEAN & DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED BASE OF FOOTING TO BE FOUNDED ON FIRM NATURAL GROUND WITH MINIMUM SAFE BEARING CAPACITY OF 100kPa.
- REMOVE GRASS & TOPSOIL CONTAINING ROOTS FROM SLAB SITE PROVIDE COMPACTED SAND BEDDING UNDER SLAB.
- PROVIDE 12mm POLYTHENE MOISTURE BARRIER UNDER SLAB & FOOTINGS
- CONCRETE TO SLAB & FOOTINGS TO BE N20, 30mm SLUMP, 20mm AGGREGATE
- VIBRATE ALL CONCRETE, CURE SLAB 7 DAYS MINIMUM.
- CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED BAR CHAIRS SPACED AT APPROX 750mm CRS.
- CONDUITS & PIPES SHALL NOT BE PLACED WITHIN COVER CONCRETE
- LAP SLAB MESH 2 CROSSWIRES MINIMUM LAPS UNLESS OTHERWISE NOTED: N12 - 600mm, N16 - 800mm, N20 - 1000mm, N24 - 1200mm, N28 - 1400mm.
REINFORCEMENT COVER: FOOTINGS - 50mm BOTTOM, SLABS - 40mm TOP / 50mm BOTTOM
- CAST IN ITEMS SHALL BE HOT DIPPED GALVANISED
- FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A SURFACEDRAIN TRENCH THAN THE DEPTH OF THE TRENCH.

ROOF FRAMING:

TRUSSES
- PREFABRICATED ROOF TRUSSES DESIGNED BY THE TRUSS MANUFACTURER INCLUDING ALL NECESSARY BRACING AND CONNECTIONS.
- JOINT GROUP FOR HMD TRUSSES.
- JOINT GROUP FOR PINE TRUSSES.
ROOF BRACING
- METAL STRAP BRACING TO TRUSS MANUFACTURER'S DESIGN.
ROOF SHEET & BATTEN FIXINGS
- LYSAGHT SHEETING OVER LYSAGHT BATTENS
- ALL ROOF SHEETING AND BATTEN FIXINGS ARE TO BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION FOR THE REQUIRED WIND SPEED.
- THE FIXING SYSTEMS FOR THE WHOLE METAL ROOF ASSEMBLY SUPPLIED BY THE MANUFACTURER, ARE TO BE COMPLIANT WITH THE LOW-HIGH-LOW CYCLIC TESTING REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (SPECIFICATION B1.2 VOLUME 1 FOR CLASS 2 TO 9 BUILDINGS) OR (SECTION 3.10.1 VOLUME 2 FOR CLASS 1 & 10 BUILDINGS).
- A COMPLIANCE CERTIFICATE SHALL BE REQUESTED FROM THE MANUFACTURER & THE INSTALLER
GENERAL:
- LAPS, FLASHINGS AND GENERAL INSTALLATION IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

WET AREA WALLS:

- ALL WET AREA WALLS AND FLOORS TO BE WATERPROOFED WITH APPROVED MEMBRANES IN ACCORDANCE WITH AS/NZS 4688.
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC 2016 PART 3.1.2.
- WALLS, FLOOR COVERINGS, BUILDER TO CONSULT OWNER FOR FULL EXTENT OF FLOOR COVERING REQUIREMENTS.
- SELECTED WALL TILES TO WET AREAS AND SPLASHBACKS, PROVIDE APPROVED ADHESIVE TO ALL TILES.

STEELWORK:

- ALL STEEL WORKS TO BE CARRIED OUT TO AUSTRALIAN STANDARDS 4100 STEEL STRUCTURES CODE.
- STEEL SHALL BE AS 3678 & 3678 GENERALLY GRADE 300 PLUS FOR HOT ROLLED SECTIONS
- AS 1163 GRADE 350 FOR HOLLOW SECTIONS
- BOLTS SHALL BE COMMERCIAL GRADE 4.6S SNUG TIGHTENED GENERALLY IN U.O.
- BOLTS SHALL BE GALVANISED OR & OF SUFFICIENT LENGTH TO EXCLUDE THE THREAD FROM THE SHEAR PLANE.
- A SUITABLE WASHER SHALL BE USED UNDER ALL NUTS UNLESS OTHERWISE SPECIFIED.
- THE FOLLOWING TO APPLY
- BEAM AND BEARER SPLICE TO BE FPBW TO AS 1554.1 CLASS SP WELDING 6MM CONTINUOUS FILLET WELD TO FULL PERIMETER AT CONTACT
- CLIENTS BRACKETS, STIFFENERS ETC. TO BE 10mm PLATE SPL END PL TO ALL HOLLOW SECTIONS
- BOLT HOLE CLEARANCE TO BE 2mm
- HOLD DOWN BOLT CLEARANCE 2mm
- GROUT OF 2:1 CEMENTSAND, MORTAR OF DAMP EARTH CONSISTENCY UNDER ALL BASE PLATES
- CHEMSET ANCHORS TO BE RAMSET SPIN CAPSULES OR SERIES 800 OR EQUIVALENT
- ALL STEEL WORK NOT HOT DIPPED GALVANISED SHALL BE ABRASIVE CLEANED TO CLASS 2.5 LEVEL & PAINTED.
- PAINTING SHALL CONSIST OF ONE COAT OF APPROVED METAL PRIMER & TWO FINISH COATS
- ALL CAST IN ITEMS TO BE HOT DIPPED GALVANISED U.N.O

TERMITE TREATMENT:

- ALL TIMBER USED IN PROJECT TO BE EITHER NATURALLY RESISTANT TO TERMITE ATTACK (AS LISTED IN AS3660.1- APPENDIX C) OR CHEMICALLY TREATED TIMBERS IN ACCORDANCE WITH AS3660.1-APPENDIX D.
- LOSP TREATED TIMBER TO BE TREATED TO H2 LEVEL FOR ALL TIMBERS USED IN ABOVE GROUND, DRY WEATHER PROTECTED AREAS, SUCH AS TRUSSES, WALL FRAMING AND SUB-FLOOR APPLICATIONS.
- H3 LEVEL APPLICATIONS TO BE ABOVE GROUND, OUTSIDE, EXPOSED TO WEATHER AREAS SUCH AS DECKING, FENCE PICKETS & RAILS, PERGOLAS, EXPOSED FLOOR JOISTS AND BEAMERS AND EXTERNAL WALL CLADDINGS, DUE TO THE DYE PIGMENT CONTAINED IN LOSP TREATED TIMBERS, ALL INTERNAL ARCHITRAVES AND MOULDINGS TO BE EITHER NATURALLY RESISTANT TIMBERS OR H3 LEVEL LOSP TREATED TIMBERS.
- ALL SLAB PENETRATIONS TO HAVE TERMIMESH MARINE GRADE STEEL COLLARS FITTED BY MANUFACTURERS QUALIFIED TECHNICIANS.

AIR CONDITIONING:

- BUILDER TO PROVIDE 2 DURABLE NOTICES PERMANENTLY FIXED IN PROMINENT LOCATIONS, SUCH AS THE ELECTRICITY METER BOX AND A KITCHEN CUPBOARD. THE NOTICE TO INDICATE:
- METHOD OF PROTECTION.
- DATE OF INSTALLATION OF THE SYSTEM USED.
- WHERE A CHEMICAL BARRIER IS USED, ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL.
- THE INSTALLERS OR MANUFACTURERS RECOMMENDATIONS FOR THE SCOPE AND FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.
- THE BUILDER MAY PROVIDE AN ALTERNATIVE TERMITE TREATMENT SYSTEM PROVIDED SUCH SYSTEMS CERTIFIED WITH THE AUSTRALIAN BUILDING CODES BOARD AS REQUIRED BY THE NCC 2016.
- GENERALLY, THE TERMITE TREATMENT SHALL COMPLY WITH NCC 2016 PART 3.1.3

ELECTRICAL:

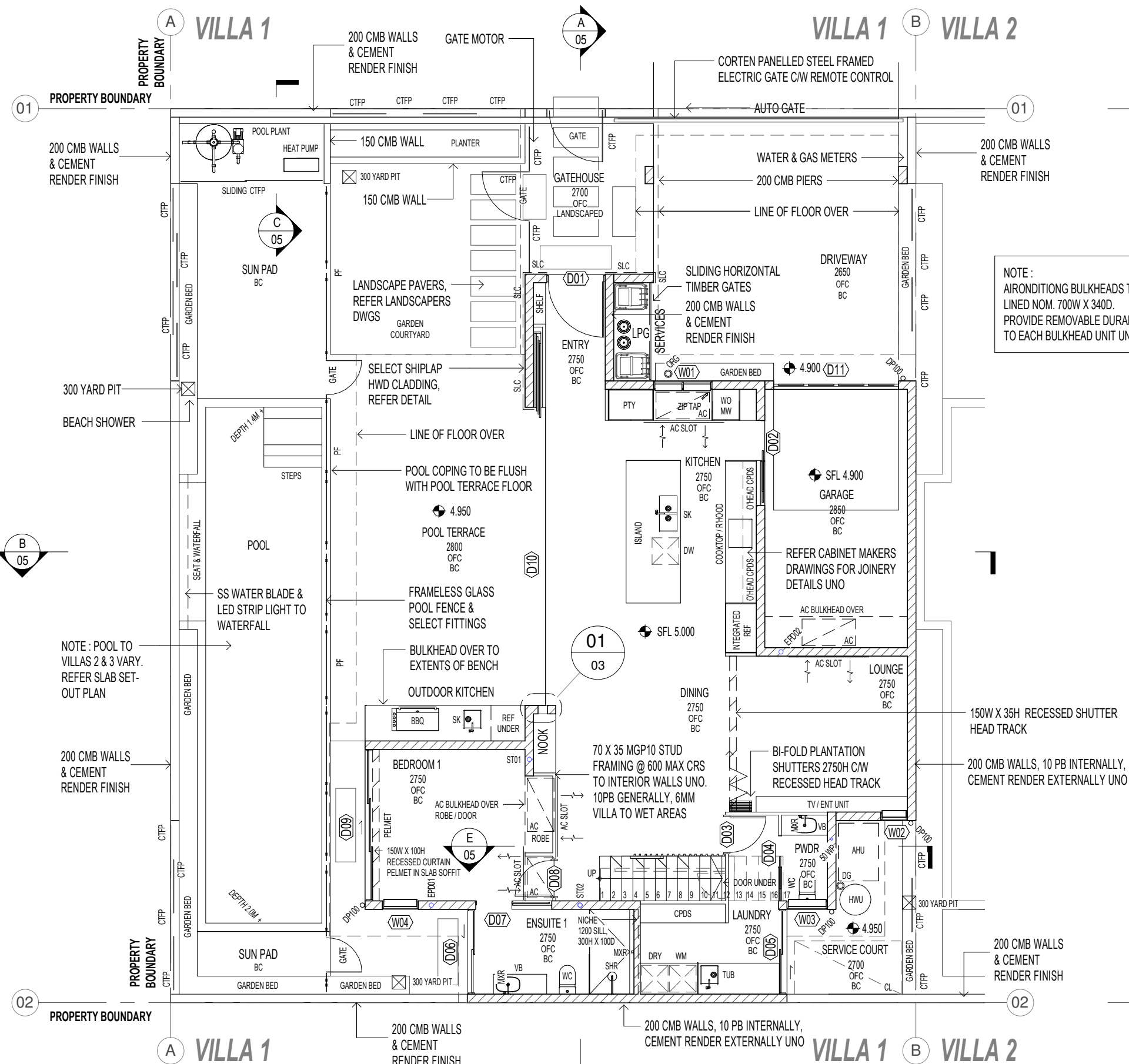
- A MINIMUM 80% OF THE TOTAL FIXED INTERNAL LIGHTING WILL BE FITTED WITH ENERGY EFFICIENT LIGHTING AS DEFINED BY QDC PART MP 4.1 (MIN. 27 LUMENS PER WATT). IF AIR CONDITIONERS ARE BEING INSTALLED THEY WILL HAVE A MINIMUM 4-STAR MINIMUM ENERGY PERFORMANCE STANDARD (MEPS) RATING. ELECTRICIAN TO PROVIDE FORM 16 CERTIFICATE FOR ALL ABOVE ITEMS HAVE BEEN COMPLIED WITH.
- PROVIDE ADDITIONAL DOCUMENTATION FROM LIGHT MANUFACTURER CONFIRMING THE LIGHT FITTINGS ACHIEVE THE MINIMUM 27 LUMENS PER WATT.
PLUMBING:
- A MINIMUM 80% OF THE TOTAL FIXED WATER CLOSERS WILL BE INSTALLED TO ALL WATER CLOSERS PREVIOUSLY 3-STAR WELS RATED.
- MINIMUM 3-STAR WELS RATED TAP WARE WILL BE INSTALLED TO ALL KITCHEN SINKS, BATHROOM BASINS AND LAUNDRY TROUGHS.
- PLUMBER TO PROVIDE FORM 16 COMPLIANCE CERTIFICATE FOR ALL ABOVE ITEMS.
- REFER TO WASTEWATER CONSULTANTS' DISPOSAL ASSESSMENT REPORT WCC047 DATE 12.03.2012

ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES						
WIND CLASS	DESIGN GUST WIND SPEED (m/s)		DESIGN PRESSURES (kPa)			
	V _{h,1}	V _{h,2}	GREATER THAN 1.2m FROM CORNERS	UP TO 1.2m FROM CORNERS		
	U _{LS}	S _{LS}	U _{LS}	S _{LS}	U _{LS}	S _{LS}
C2	61	39	22.88	-28.88	-4.02	-1.23

LEGEND	
@ ACCORD.	AT ACCORDING
AS	AUSTRALIAN STANDARD CODES
NCC	NATIONAL CONSTRUCTION CODE
HC	HONEY/BURNISHED CONCRETE FINISH
CMB	CONCRETE MASONRY BLOCK
CONC	CONCRETE
COS	CONFIRM ON SITE
CRS	CENTRES
CS	CAVITY SLIDER
CSK	COUNTERSUNK
CT	COOK TOP
CTFP	CORTEN FENCE PANEL
CFW	CONTINUOUS FILLET WELD
DIA	DIAMETER
DPC	DAMP PROOF COURSE
DW	DISHWASHER
D/P	DOWN PIPE
EA	EQUAL ANGLE
EJ	EXPANSION JOINT
FC	FIBRE CEMENT
FFL	FINISHED FLOOR LEVEL
PH	FLAT HEAD NAILS
9	GLUE (BOLTS, SCREWS)
GAL	GALVANISING
HH	HEAD HEIGHT
HEX	HEXAGONAL HEAD (BOLT)
HR	SELECT GLASS BALUSTRADE & HANDRAIL
HT	HEIGHT
HWD	HARDWOOD
HWS	HOT WATER SYSTEM
LOSP	LIGHT ORGANIC SOLVENT PRESERVATIVE
MM	MILLIMETRES
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
MGP	MACHINE GRADED PINE
MCP	MICROWAVE OVEN
MS	MILD STEEL
NGL	NATURAL GROUND LEVEL
OPC	OFF-FORM CONCRETE FINISH
OS	OPSCURE GLASS
PB	PLASTERBOARD LINING
PF	SELECT 1200H POOL FENCE PLATE
PL	POLYVINYL CHLORIDE
PVC	REINFORCING
RGH	ROUGHER HEADER H3 TREATED PINE
RHS	RECTANGULAR HOLLOW SECTION
SCJ	SAW CUT JOINT
SFL	STRUCTURAL FLOOR LEVEL
SHS	SQUARE HOLLOW SECTION
SLS	SELECT HMD SHIPLAP CLADDING
SLC	STAINLESS STEEL
SPEC	SPECIFICATION
S/S	SQUARE HOLLOW SECTION
TOW	TOP OF WALL
UA	UNEQUAL ANGLE
UNO	UNLESS NOTED OTHERWISE
[L01]	LINTEL NUMBER

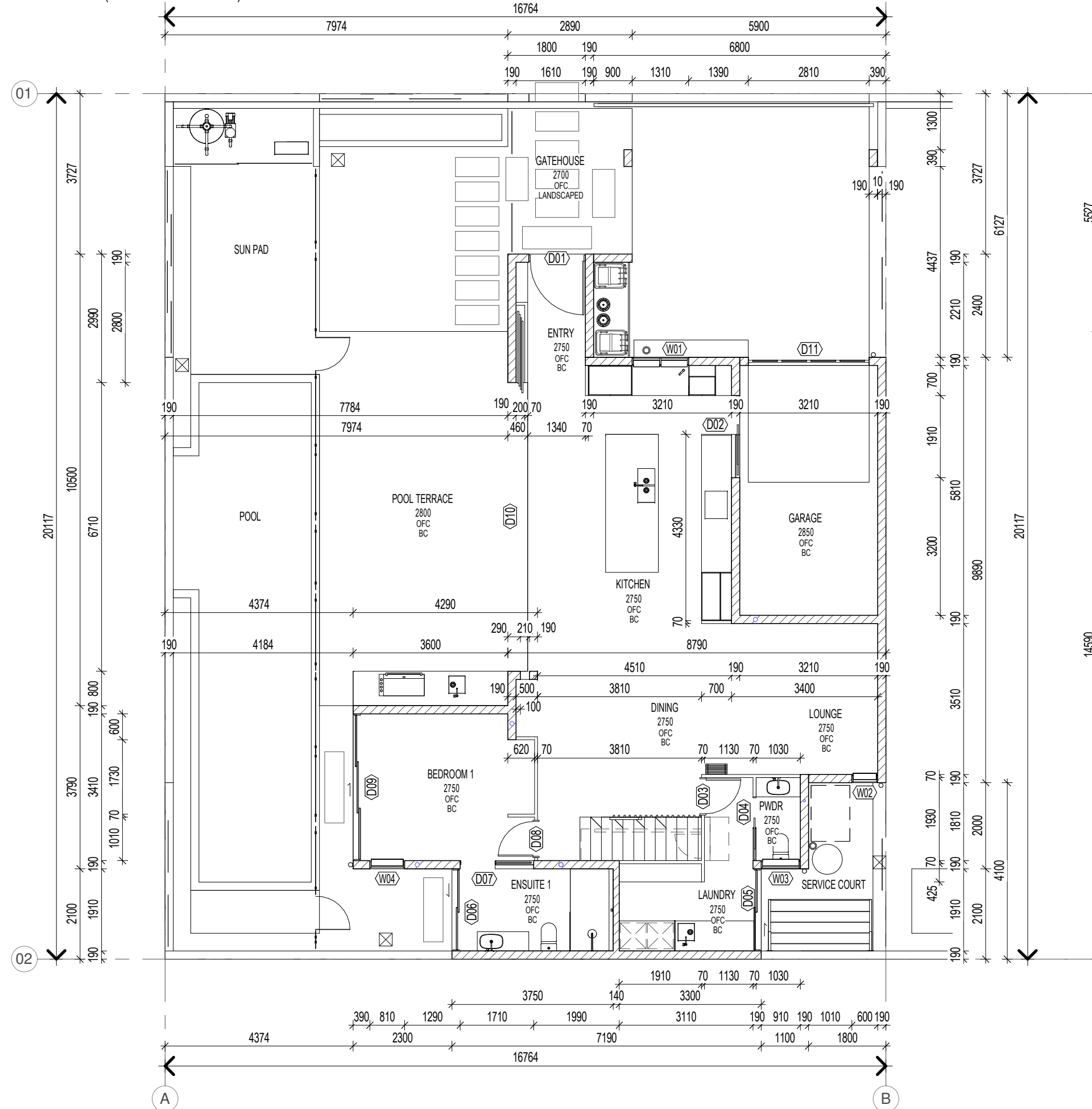
(D01)	DOOR NUMBER
(W01)	WINDOW NUMBER
SECTION REFERENCE	SECTION MARKER
ELEVATION KEY	ELEVATION KEY
DETAIL REFERENCE	DETAIL CALLOUT
RL 00.000	REDUCED LEVEL
100	SLAB SETDOWN
FALL	SLAB FALL
-1000	SLAB THICKNESS
+00.000	SPOT LEVEL

DRAWING REGISTER		
SHEET	TITLE	REV
00	PROPOSED SITE PLAN, GENERAL NOTES & LEGEND	
01	SITE PLAN - EXISTING / DEMOLITION	
02	PROPOSED SITE AMENITIES & TEMPORARY FENCING	
03	FLOOR PLANS - TYPICAL VILLA LAYOUT	
04	ELEVATIONS	
05	SECTIONS	
06	SITE FOOTINGS PLAN	
07	SITE SLAB SET-OUT	
08	LOWER SLAB / WALL REINFORCEMENT PLANS	
09	TYPICAL VILLA UPPER SLAB PLANS	
10	ROOF FRAMING / LINTEL PLANS & DETAILS	
11	ELECTRICAL LAYOUTS	
12	HYDRAULIC SERVICES - SITE PLAN & NOTES	
13	HYDRAULIC SERVICES - SANITARY DRAINAGE / STORMWATER & WATER PLANS	



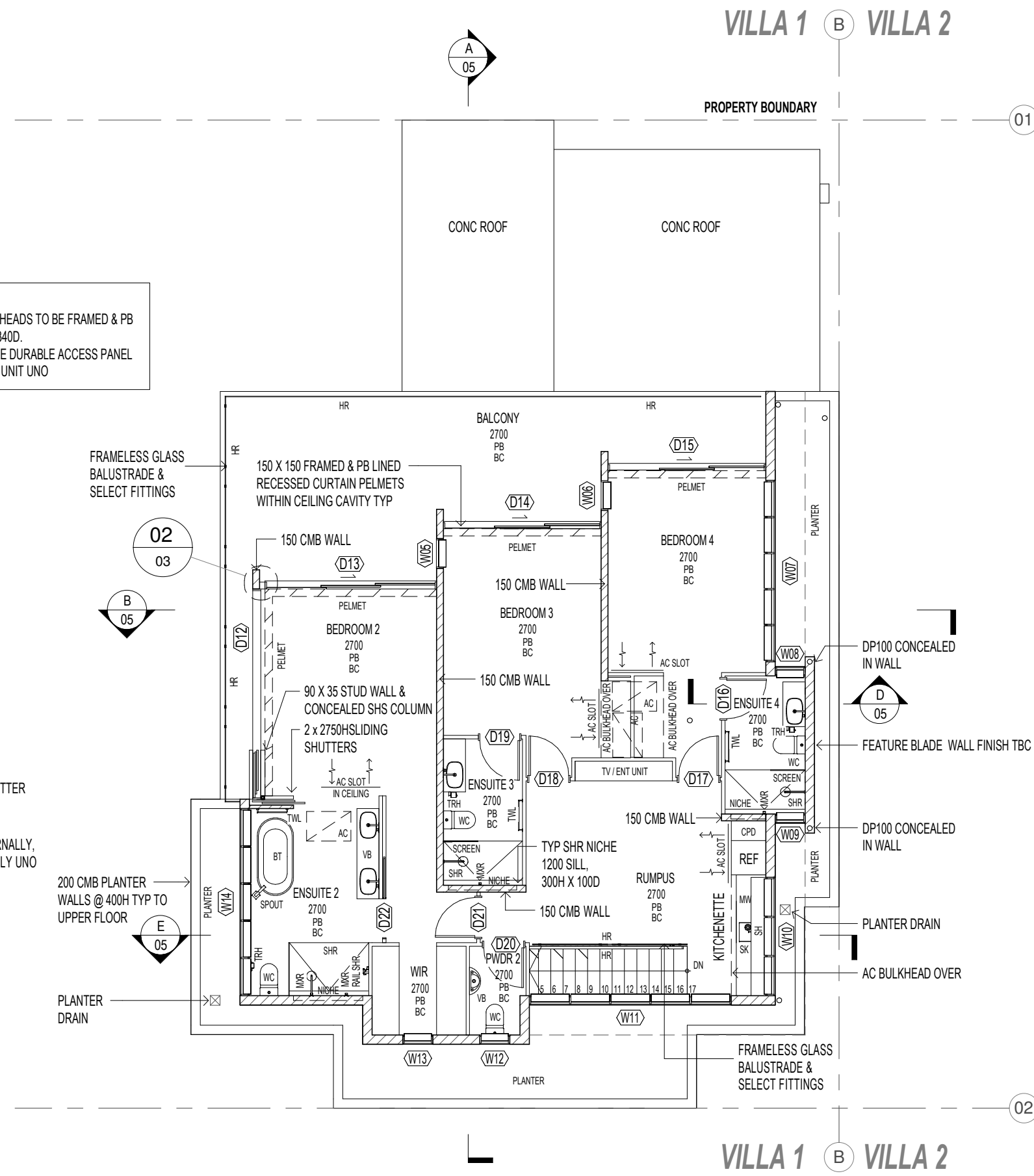
FLOOR PLAN - LOWER

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VILLA 1 (VILLAS 2 & 3 SIMILAR)



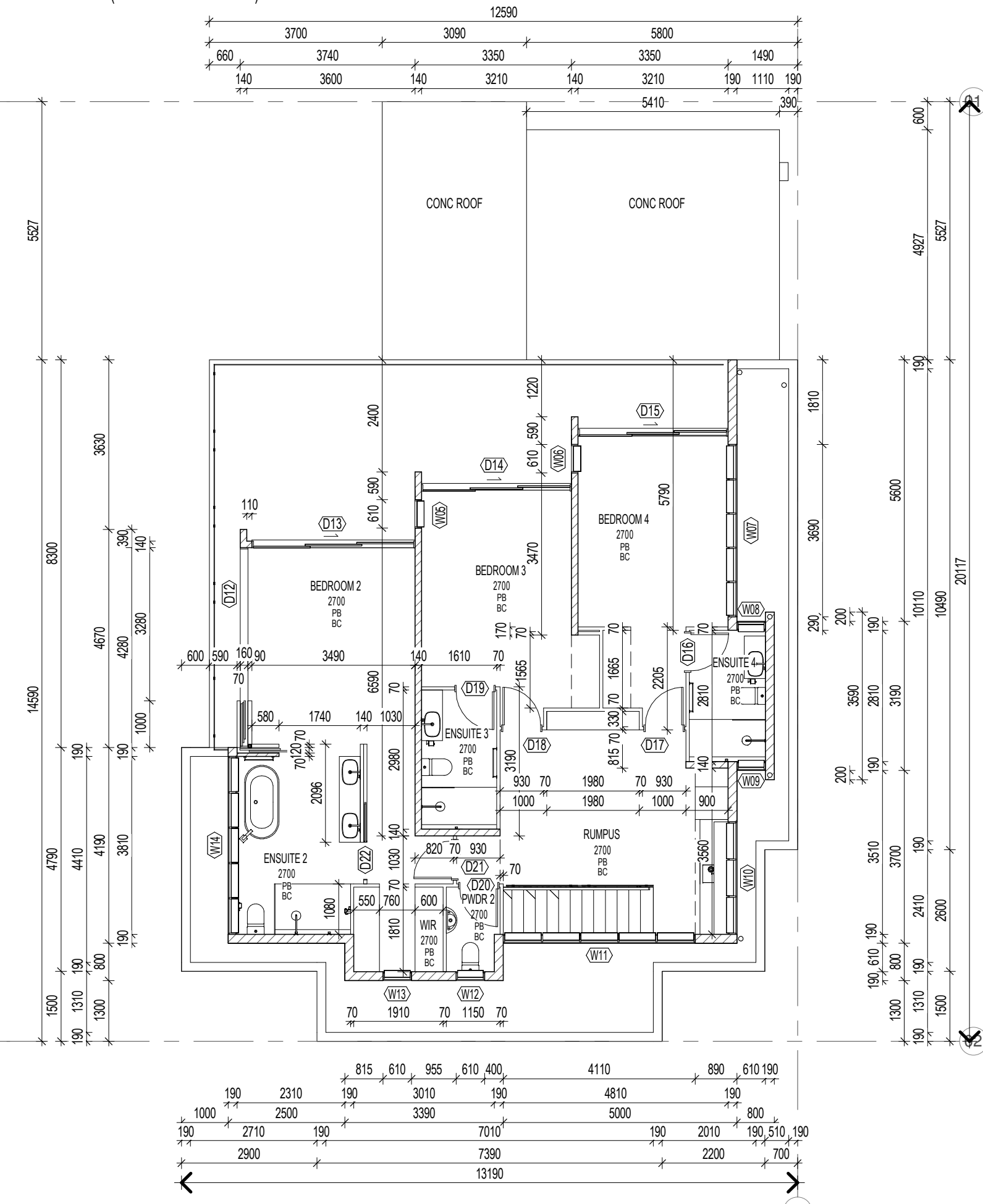
FLOOR PLAN - LOWER DIMENSIONS

1 : 100



FLOOR PLAN - UPPER

1 : 100
VILLA 1 (VILLAS 2 & 3 SIMILAR)



FLOOR PLAN - UPPER DIMENSIONS

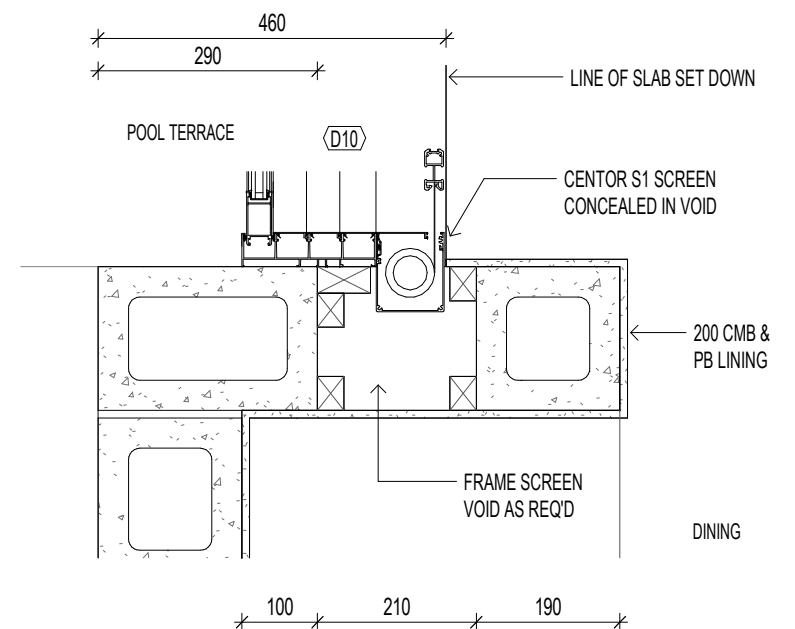
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SCHEDULE - DOORS				
MARK	TYPE	HEIGHT	WIDTH	OTHER REQS
01	SINGLE LEAF ENTRY DOOR	2750	1310	SELECT FEATURE ENTRY DOOR
02	820 LEAF CAVITY SLIDER	2380	1860	820 X 2340 LEAF
03	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
04	720 LEAF CAVITY SLIDER	2340	1460	720 X 2340 LEAF
05	FX ALUMINIUM SLIDING DOOR	2410	1910	INSECT SCREENS
06	FX ALUMINIUM SLIDING DOOR	2410	1910	INSECT SCREENS
07	820 LEAF CAVITY SLIDER	2380	1860	820 X 2340 LEAF
08	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
09	FX ALUMINIUM SLIDING DOOR	2800	3410	INSECT SCREENS
10	FX ALUMINIUM SLIDING CAVITY DOOR	2750	6710	6710 OPENING / CENTOR S1 SCREENS / FLUSH PULL HANDLES
11	PANEL LIFT GARAGE DOOR			REMOTE CONTROL
12	FX ALUMINIUM SLIDING CAVITY DOOR	2750	3280	3280 OPENING / CENTOR S1 SCREEN / FLUSH PULL HANDLES
13	FX ALUMINIUM SLIDING DOOR	2710	3490	INSECT SCREENS
14	FX ALUMINIUM SLIDING DOOR	2720	3210	INSECT SCREENS
15	FX ALUMINIUM SLIDING DOOR	2710	3210	INSECT SCREENS
16	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
17	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
18	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
19	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
20	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
21	SINGLE LEAF INTERNAL DOOR	2380	870	820 X 2340 LEAF
22	820 LEAF CAVITY SLIDER	2340	1860	820 X 2340 LEAF

SCHEDULE - WINDOWS				
MARK	WINDOW TYPE	HEIGHT	WIDTH	OTHER REQS
01	2 X BAY ALUMINIUM LOUVER WINDOW	810	1310	
02	1 X BAY ALUMINIUM LOUVER WINDOW	1810	600	152MM CLEAR GLASS BLADES / CRIMS SAFE SCREEN
03	1 X BAY ALUMINIUM LOUVER WINDOW	1010	910	152MM CLEAR GLASS BLADES / CRIMS SAFE SCREEN
04	1 X BAY ALUMINIUM LOUVER WINDOW	2410	810	152MM CLEAR GLASS BLADES / CRIMS SAFE SCREEN
05	1 X BAY ALUMINIUM LOUVER WINDOW	2410	610	152MM CLEAR GLASS BLADES / INSECT SCREEN
06	1 X BAY ALUMINIUM LOUVER WINDOW	2410	610	152MM CLEAR GLASS BLADES / INSECT SCREEN
07	5 X BAY ALUMINIUM LOUVER WINDOW	610	3890	152MM CLEAR GLASS BLADES / INSECT SCREENS
08	1 X BAY ALUMINIUM LOUVER WINDOW	1210	610	152MM CLEAR GLASS BLADES / INSECT SCREEN
09	1 X BAY ALUMINIUM LOUVER WINDOW	1210	610	152MM CLEAR GLASS BLADES / INSECT SCREEN
10	3 X BAY ALUMINIUM LOUVER WINDOW	610	2410	152MM CLEAR GLASS BLADES / INSECT SCREENS
11	5 X BAY ALUMINIUM LOUVER WINDOW	1810	4110	152MM CLEAR GLASS BLADES / INSECT SCREENS
12	1 X BAY ALUMINIUM LOUVER WINDOW	1010	610	152MM CLEAR GLASS BLADES / INSECT SCREEN
13	1 X BAY ALUMINIUM LOUVER WINDOW	1010	610	152MM CLEAR GLASS BLADES / INSECT SCREEN
14	5 X BAY ALUMINIUM LOUVER WINDOW	1810	3810	152MM CLEAR GLASS BLADES / INSECT SCREENS

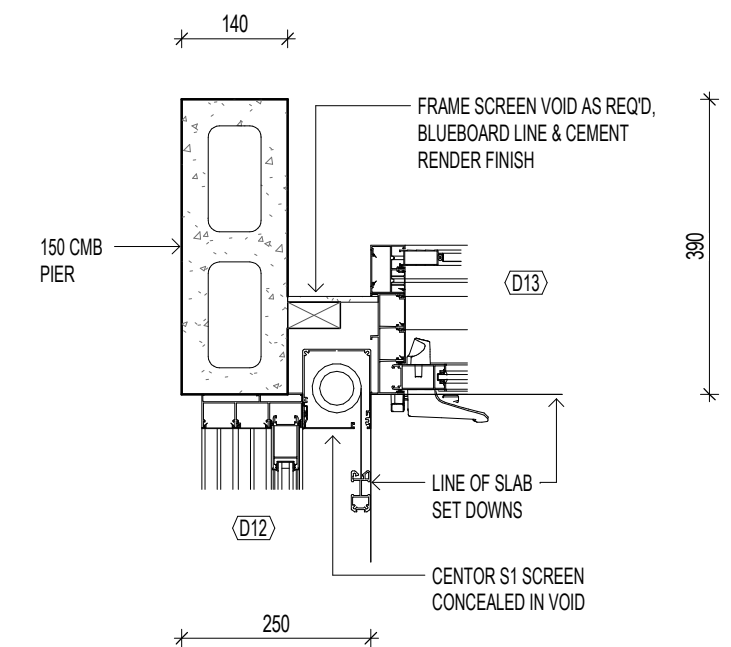
DOOR / WINDOW NOTES:

- REFER FLOOR PLAN FOR DOOR SWINGS
- DOOR HARDWARE, FURNITURE & FINISH AS SELECTED
- GLAZING TO BE SELECTED SOLAR REFLECTIVE OR SIMILAR
- ALUMINIUM FRAMES TO BE COLORBOND MONUMENT
- POWDERCOAT FINISH UNO
- ALL DIMENSIONS TO BE CONFIRMED ON SITE
- JOINERY TO AS2047-1999 FOR WATER PENETRATION & WIND LOAD REQUIREMENTS
- GLAZING TO AS1288-2006, CERTIFICATE TO BE SUPPLIED
- SEAL ALL ROUND FRAMES
- SECURITY SCREENS WHERE REQUIRED BY OWNER
- INTERNAL TIMBER DOORS TO BE AS PER SELECTION (2340 X 820 U.N.O.) HUNG ON 90 X 19 FJP JAMBS
- POWDERCOAT REMOTE CONTROL PANEL/LIFT DOOR TO GARAGE WITH 3 HANDSETS.



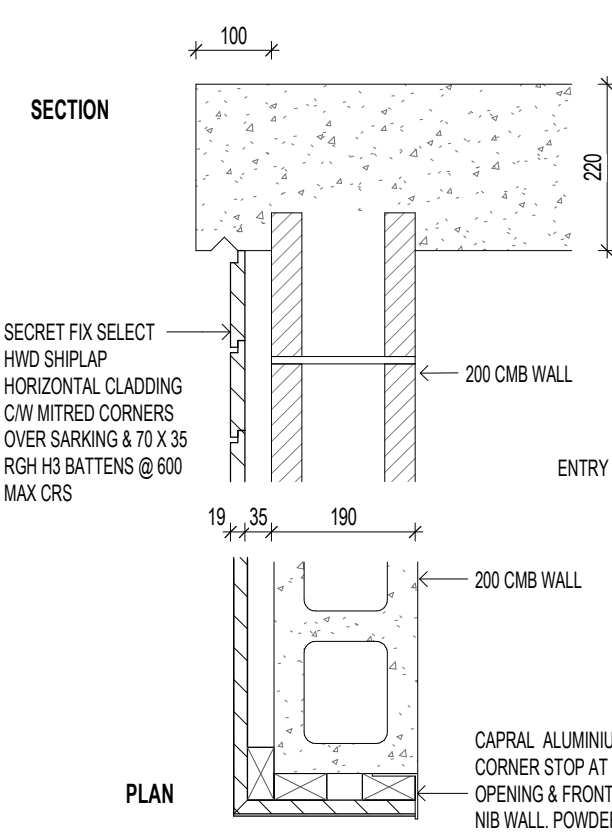
DETAIL

1 : 10
DOOR 10 CLOSING JAMB - LOWER FLOOR



DETAIL

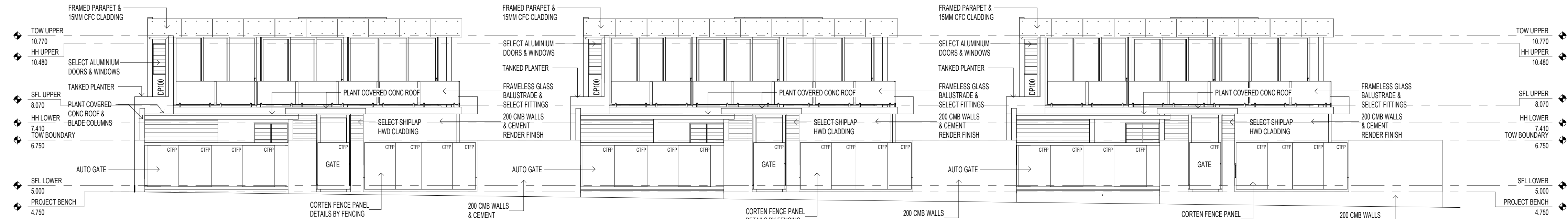
1 : 10
DOOR 12/13 CLOSING JAMB - UPPER FLOOR



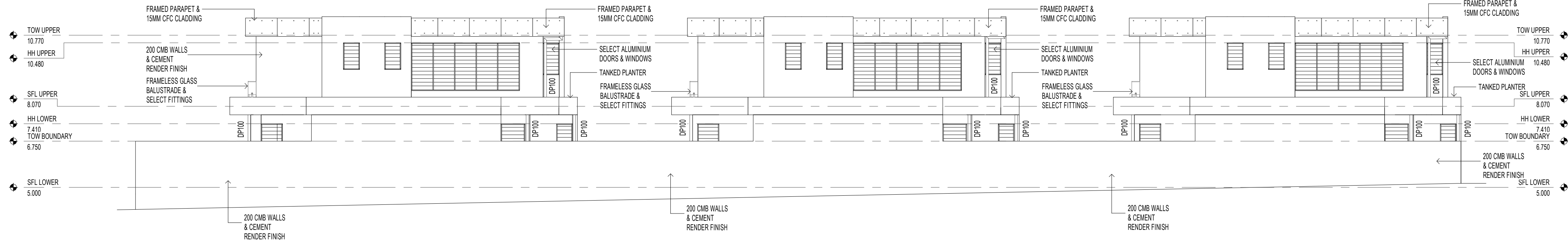
DETAIL

1 : 10
ENTRY WALL SHIPLAP CLADDING

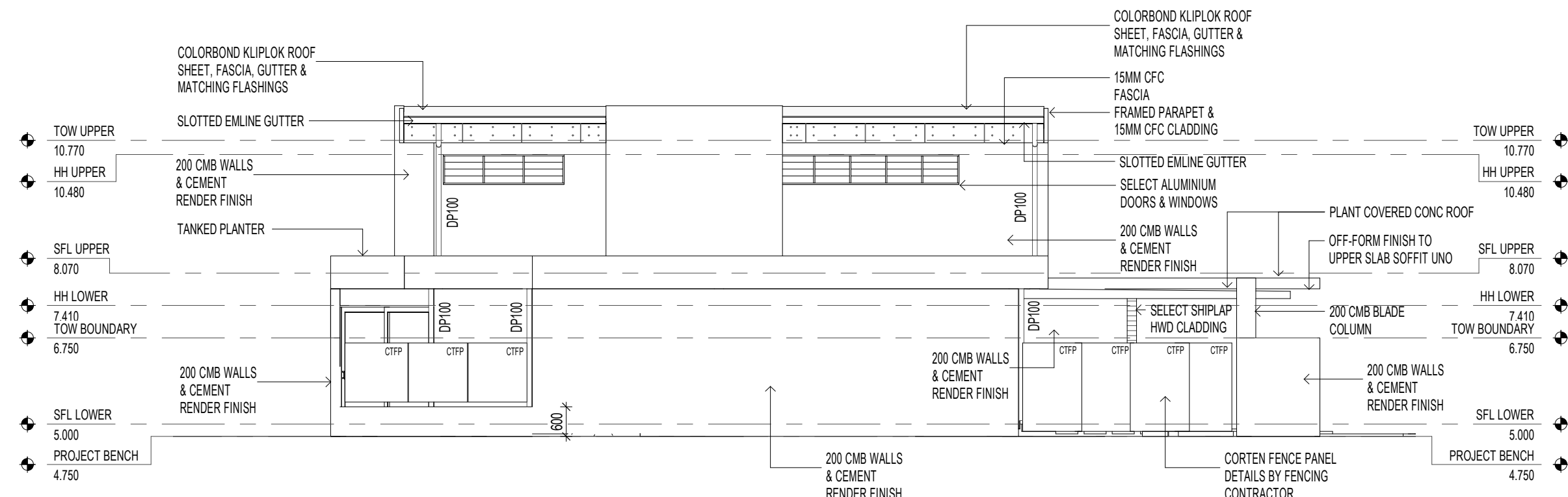
ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES						
WIND CLASS	DESIGN GUST WIND SPEED (m/s)		DESIGN PRESSURES (kPa)			
	V _h	V _h	GREATER THAN 1.2m FROM CORNERS		UP TO 1.2m FROM CORNERS	
	U.S.	S.S.	U.S.	S.S.	U.S.	S.S.
C2	61	39	-2.68	-0.88	-4.02	-1.23



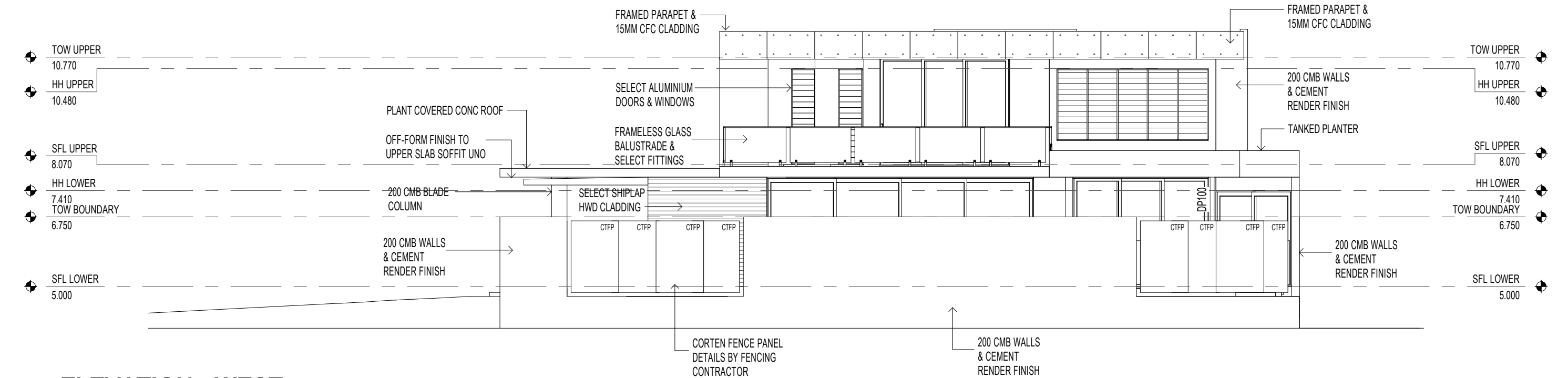
ELEVATION - NORTH
1:100



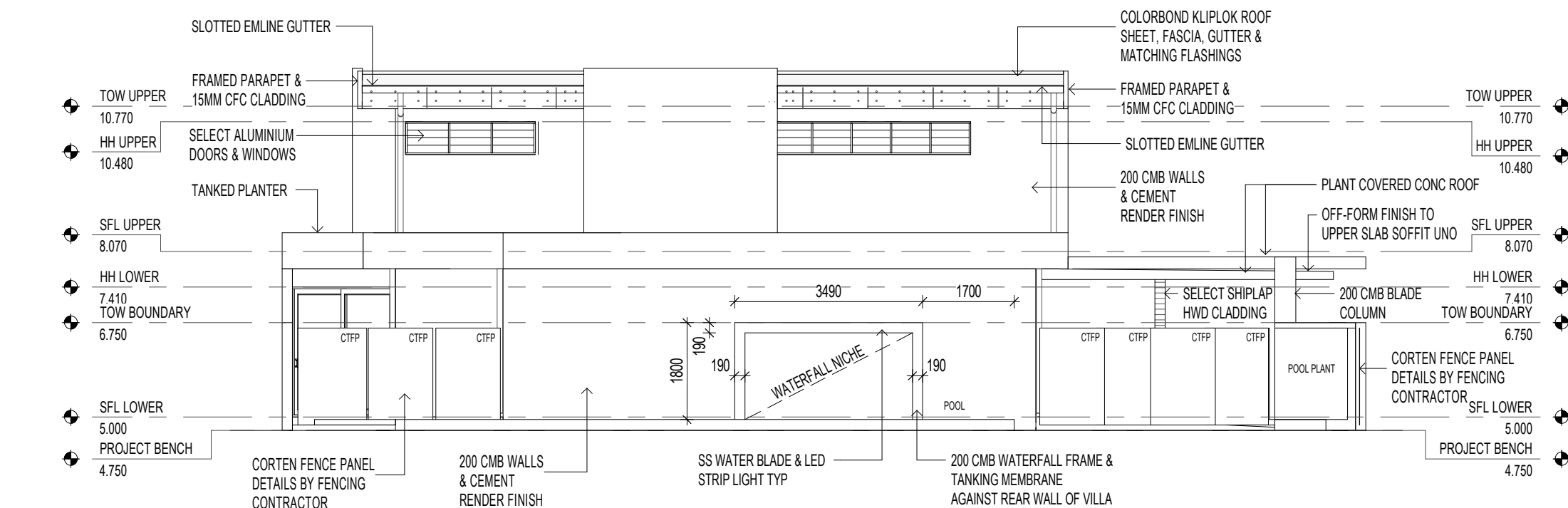
ELEVATION - SOUTH
1:100



ELEVATION - EAST
1:100



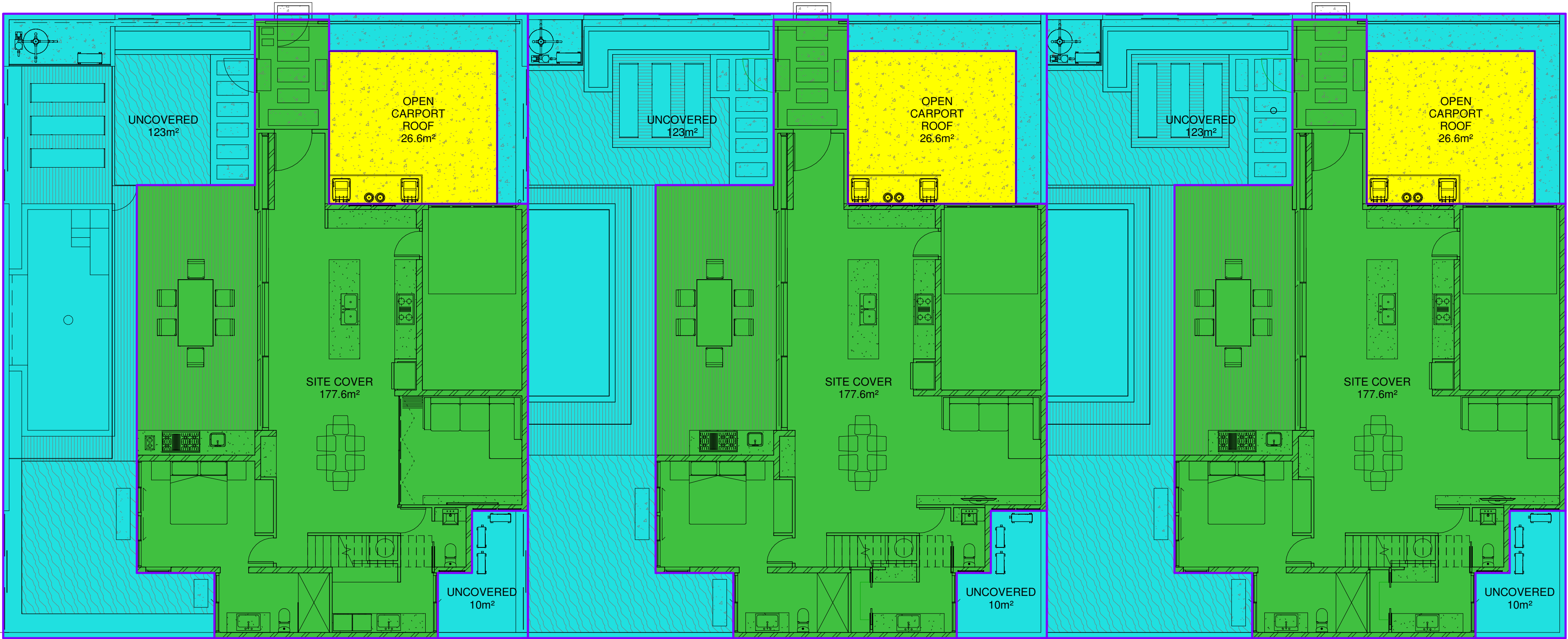
ELEVATION - WEST
1:100



ELEVATION - TYPICAL VILLA 2 & 3 / POOL WATERFALL
1:100

ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES						
WIND CLASS	DESIGN GUST WIND SPEED (m/s)		DESIGN PRESSURES (N/m²)			
	V _{h,u}	V _{h,s}	GREATER THAN 12m FROM CORNERS		UP TO 12m FROM CORNERS	
	U _{LS}	S _{LS}	U _{LS}	S _{LS}	U _{LS}	S _{LS}
C2	61	39	±2.68	±0.88	-4.02	-1.23

SITE COVER GROUND	AV VILLA	ALL VILLAS	% AV VILLA	% ALL VILLAS
SITE COVER	177.6m²	532.9m²	52.66%	52.66%
UNCOVERED	133m²	399m²	39.44%	39.44%
OPEN CARPORT ROOF	26.6m²	79.8m²	7.88%	7.88%
TOTAL SITE AREA	337.2m²	1011.7m²	100%	100%



2 SITE COVER GROUND
1 : 100

SITE COVER 1ST	AV VILLA	ALL VILLAS	% AV VILLA	% ALL VILLAS
SITE COVER	109m²	327m²	32.32%	32.32%
UNCOVERED	228.2m²	684.6m²	67.68%	67.68%
TOTAL SITE AREA	337.2m²	1011.7m²	100%	100%



1 SITE COVER AREA 1ST
1 : 100



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CLIENT

NATHAN VERRI

24 MUDLO ST PORT DOUGLAS

VILLAS ON BERYL

STRUCTURAL DETAILS
ADEQUATE AS
CERIFIED

NOTE

COPY RIGHT!!!
NATHAN VERRI PTY

SHEET NAME: AREA PLAN SITE COVER

SHEET SHEET 5

DATE 22-May-17 3:04:20 PM

DESIGNED NATHAN

DRAWN BY: NATHAN



