1 4 APR 2025

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282

This form must be used to make a development application involving building work.

EN901102

For a development application involving **building work only**, use this form (*DA Form 2*) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* **and** parts 4 to 6 of this form (*DA Form 2*).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 - APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	John Lewis
Contact name (only applicable for companies)	John
Postal address (PO Box or street address)	22 Grays Creek Terrace
Suburb	Mowbray
State	Queensland
Postcode	4877
Country	Australia
Contact number	0466 456 022
Email address (non-mandatory)	4burntsticks@gmail.com
Mobile number (non-mandatory)	-
Fax number (non-mandatory)	-
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable) Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <u>DA Forms Guide: Relevant plans.</u>	100
2.1) Street address and lot on plan	
Street address AND lot on plan (all lots must be listed), or	



Unit No.	Street No.	Street Name and Type	Suburb	
THE INO.	22	Grays Creek Terrace	Mowbray	
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP,		nent Area(s)
877	L2	RP 804919		
attached Not requir	in a schedule to t	levant to this development application his development application		
Vote: Fasemen	t uses vary throughou	ements over the premises? It Queensland and are to be identified correctl	y and accurately. For further	r information on easements and
now they may a	ffect the proposed de	velopment, see the <u>DA Forms Guide</u>		
_] Yes – All applicatio		ns, types and dimensions are include	ed in plans submitted v	with this development
⊠ No				
ART 3 -	FURTHER [DETAILS		
4) Is the app	lication only for b	uilding work assessable against the b	ouilding assessment p	rovisions?
The state of the s	ceed to 8)			
ZNo Pic	0000 10 0)			
5) Identify th	e assessment ma	anager(s) who will be assessing this	development application	on
	ng Certification			
		agreed to apply a superseded plannir		elopment application?
Yes – a c	opy of the decision	on notice is attached to this developn	nent application	
	government is ta	aken to have agreed to the supersede	ed planning scheme re	quest – relevant documen
attached				
∐ No				
7) Informatio	n request under	Part 3 of the DA Rules	Preference of the	A SALE
		mation request if determined necessa	ary for this developmen	nt application
		n information request for this develop		
	reeing to accept an i	nformation request I, the applicant, acknowled	ge:	
NOLE. Dy HOLAS			information provided when	
. that this d	evelopment application	on will be assessed and decided based on the	a the development applicati	making this development on are not obligated under the D
that this d application	and the assessment	manager and any referral agencies relevant to	o the development application unles	on are not obligated under the Di
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☐ Approval			
☐ Development application			
9) Has the portable long serv			
		ached to this development app	
assessment manager dec	ides the development a	e portable long service leave le application. I acknowledge that dence that the portable long se	the assessment manager may
		ork is less than \$150,000 exclud	
Amount paid	Date paid (dd/mm/yy	THE RESERVE TO SELECT A STREET OF THE PARTY	number (A, B or E)
\$		•	
	<u>. La companya da managan da mana</u>		
10) Is this development applinotice? ☐ Yes – show cause or enfo		show cause notice or required	as a result of an enforcement
⊠ NO			
11) Identify any of the followi	ng further legislative re	quirements that apply to any a	spect of this development
application	ing farther legislative re	quilottionto that apply to ally as	
☐ The proposed developme	nt is on a place entere	d in the Queensland Heritage	Register or in a local
government's Local Herit	age Register. See the	guidance provided at www.des	s.qld.gov.au about the
requirements in relation to	the development of a	Queensland heritage place	
Name of the heritage place:	3	Place ID:	
	DETAILO		
PART 4 – REFERRAL	. DETAILS		
12) Does this development a	pplication include any	building work aspects that have	e any referral requirements?
☐ Yes – the Referral checkl	ist for building work is a	attached to this development ap	oplication
☐ No – proceed to Part 5			
7			
13) Has any referral agency	provided a referral resp	oonse for this development app	lication?
) received and listed be	elow are attached to this develo	opment application
X No			
Referral requirement		Referral agency	Date referral response
y			
Identify and describe any chareferral response and this de (if applicable)	anges made to the properties and	posed development application or include details in a schedule	that was the subject of the e to this development application
PART 5 - BUILDING	WORK DETAILS	3	
14) Owner's details			THE AMERICAN PROPERTY.
Tick if the applicant is als	o the owner and proce	ed to 15). Otherwise, provide the	ne following information.
Name(s) (individual or company t			
Contact name (applicable for co			
Postal address (P.O. Box or str			

Suburb					
State					
Postcode					
Country					
Contact number					
Email address (non-mandatory)					
Mobile number (non-mandatory)					
Fax number (non-mandatory)					
15) Builder's details					
☐ Tick if a builder has not yet be following information.	een engaged	I to undertake the v	work and p	roceed to 16). Othe	erwise provide the
Name(s) (individual or company full na	ame)	John Lewis			
Contact name (applicable for compa	nies)	John			
QBCC licence or owner - builde	r number	1111050			
Postal address (P.O. Box or street a	ddress)	PO Box 617			
Suburb		Port Douglas			
State		Queensland			
Postcode		4877			
Contact number		0466 456b022			
Email address (non-mandatory)		4burntsticks@gmail.com			
Mobile number (non-mandatory)		-			
Fax number (non-mandatory)		_			
16) Provide details about the pro		ing work			
What type of approval is being s	ought?				
Development permit Preliminary approval					
	ant2				
b) What is the level of assessment	0) IL I				
☐ Impact assessment (requires p	ublic notification	a)			
c) Nature of the proposed building			es)		
New building or structure		426-4-19-4 💌 19-1 - 11-15-5-15-5-5-5-5-5	ſ	Repairs, alteration	as or additions
		private and the second		is or additions	
I I Change of building classifica	tion (involvina	building work)] Swimming pool a	
☐ Change of building classifica☐ Demolition	tìon (involving	building work)		Swimming pool a	nd/or pool fence
☐ Demolition			Tedule.		nd/or pool fence
			Tedule.		nd/or pool fence
☐ Demolition	vork below or		nedule.		nd/or pool fence
☐ Demolition d) Provide a description of the w	vork below or	in an attached sch	nedule.		nd/or pool fence
☐ Demolition d) Provide a description of the w	vork below or ials Double Brick ve	in an attached sch brick neer	☐ Steel	Relocation or rem	nd/or pool fence noval Curtain glass Aluminium
Demolition d) Provide a description of the w e) Proposed construction materia	ials Double Brick ve	in an attached sch brick neer	Steel Timber	Relocation or rem	nd/or pool fence noval Curtain glass Aluminium Other
Demolition d) Provide a description of the w e) Proposed construction materi External walls	ials Double Brick ve Stone/ca	in an attached sch brick neer	☐ Steel	Relocation or rem	nd/or pool fence noval Curtain glass Aluminium
Demolition d) Provide a description of the w e) Proposed construction materi External walls Frame	ials Double Brick ve Stone/cc Timber Other	in an attached sch brick neer oncrete	Steel Timber Fibre c	Relocation or rem	nd/or pool fence noval Curtain glass Aluminium Other Aluminium
Demolition d) Provide a description of the w e) Proposed construction materi External walls	ials Double Brick ve Stone/ca	in an attached sch brick eneer oncrete	Steel Timber	Relocation or rem	nd/or pool fence noval Curtain glass Aluminium Other

f) Existing building use	/classification? (if appl	icable)		
1) Exioting banding doo	roldosilloddori. (ii app.	iodaroy	CT 00010-5000 TELEVILOR DELONGED BANK	
g) New building use/cla	assification? (if applicat	ole)		
Shed and hobby studio)			
Relevant plans.				information, see <u>DA Forms Guide:</u>
Relevant plans of the	ie proposed works ai	e attached to the de	velopment application	
17) What is the monet	ary value of the propo	osed building work?		
80,000				
18) Has Queensland H		me Insurance been p	paid?	
Yes – provide detai	is below			
Amount paid	Date paid (dd/mm/vv)	Reference nun	nber
, and and para		,,,		
PART 6 – CHECK	KLIST AND AP	PLICANT DEC	LARATION	
19) Development appli	cation checklist			
The relevant parts of F	Form 2 – Building wor	k details have been	completed	∑ Yes
This development app operational work and is application details	lication includes a ma s accompanied by a	aterial change of use completed <i>Form 1</i> –	, reconfiguring a lot or Development	☐ Yes ☑ Not applicable
Relevant plans of the one of the control of the con	quired to be submitted for	ched to this develop all aspects of this develop	ment application oment application. For further	√ Yes
The portable long serv a development permit	ice leave levy for QL	eave has been paid,	or will be paid before	✓Yes ☐ Not applicable
				
20) Applicant declarati	on			
By making this dev	elopment application	, I declare that all inf	ormation in this develop	oment application is true and
Where an email ad from the assessme	nt manager and any red or permitted purs	referral agency for the suant to sections 11	ne development applica	e electronic communications tion where written c Transactions Act 2001
assessment manager, be engaged by those of All information relating published on the asses	any referral agency a entities) while process to this development ssment manager's ar	and/or building certif sing, assessing and application may be a nd/or referral agency	ier (including any profe deciding the developm available for inspection 's website.	and purchase, and/or
2017 and the DA Rule	s except where:			2016, Planning Regulation
Act 2016 and the F Planning Regulation	Planning Regulation 2 on 2017; or	017, and the access	rules made under the	ents contained in the <i>Planning</i> <i>Planning Act 2016</i> and
	egislation (including t	he Right to Informati	ion Act 2009); or	
 otherwise required This information may be a public Records Act 20 	e stored in relevant	databases. The infor	mation collected will be	retained as required by the

USE ONLY Reference numbers: Date received: For completion by the building certifier Classification(s) of approved building work **QBCC Certification Licence** QBCC Insurance receipt Name number number Notification of engagement of alternative assessment manager Prescribed assessment manager Name of chosen assessment manager Date chosen assessment manager engaged Contact number of chosen assessment manager Relevant licence number(s) of chosen assessment manager Additional information required by the local government Confirm proposed construction materials: ☐ Steel ☐ Curtain glass ☐ Double brick ☐ Brick veneer ☐ Timber ☐ Aluminium External walls ☐ Fibre cement Other ☐ Stone/concrete ☐ Steel ☐ Aluminium ☐ Timber Frame Other Other ☐ Timber ☐ Concrete Floor ☐ Fibre cement ☐ Tiles ☐ Slate/concrete Roof covering ☐ Other ☐ Steel ☐ Aluminium QLeave notification and payment Note: For completion by assessment manager if applicable Description of the work QLeave project number Date paid (dd/mm/yy) Amount paid (\$) Date receipted form sighted by assessment manager Name of officer who sighted the form Additional building details required for the Australian Bureau of Statistics Existing building use/classification? (if applicable) New building use/classification? Floor area (m²)

Site area (m²)

PART 7 - FOR COMPLETION BY THE ASSESSMENT MANAGER - FOR OFFICE

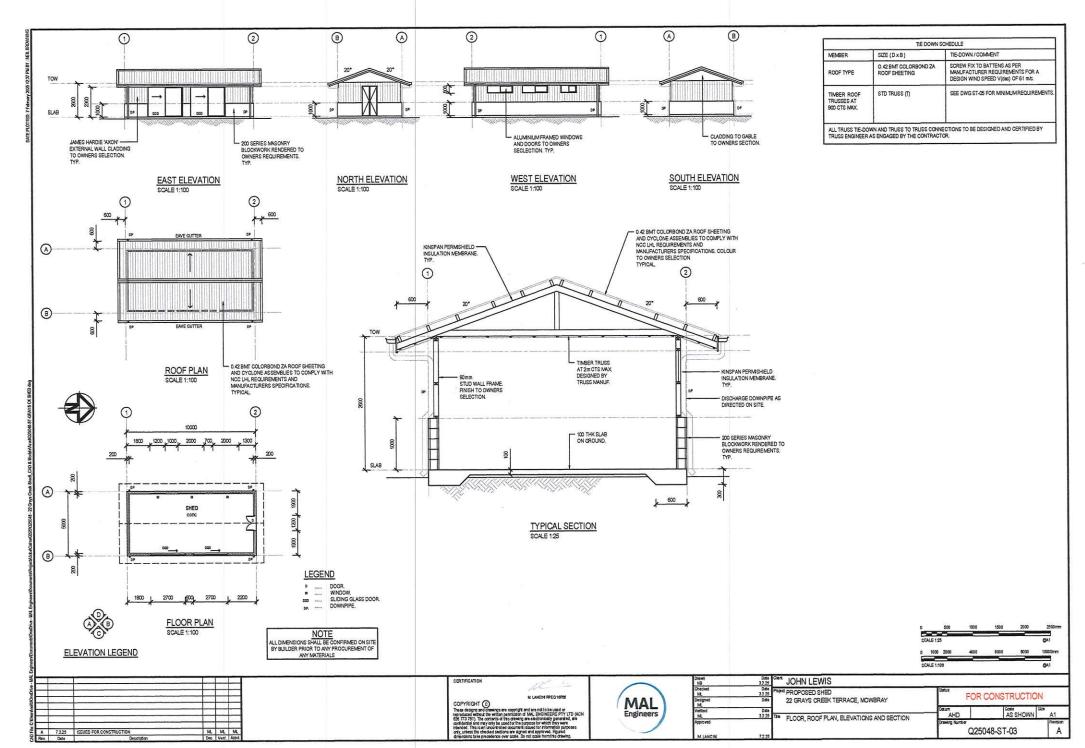
AA Request

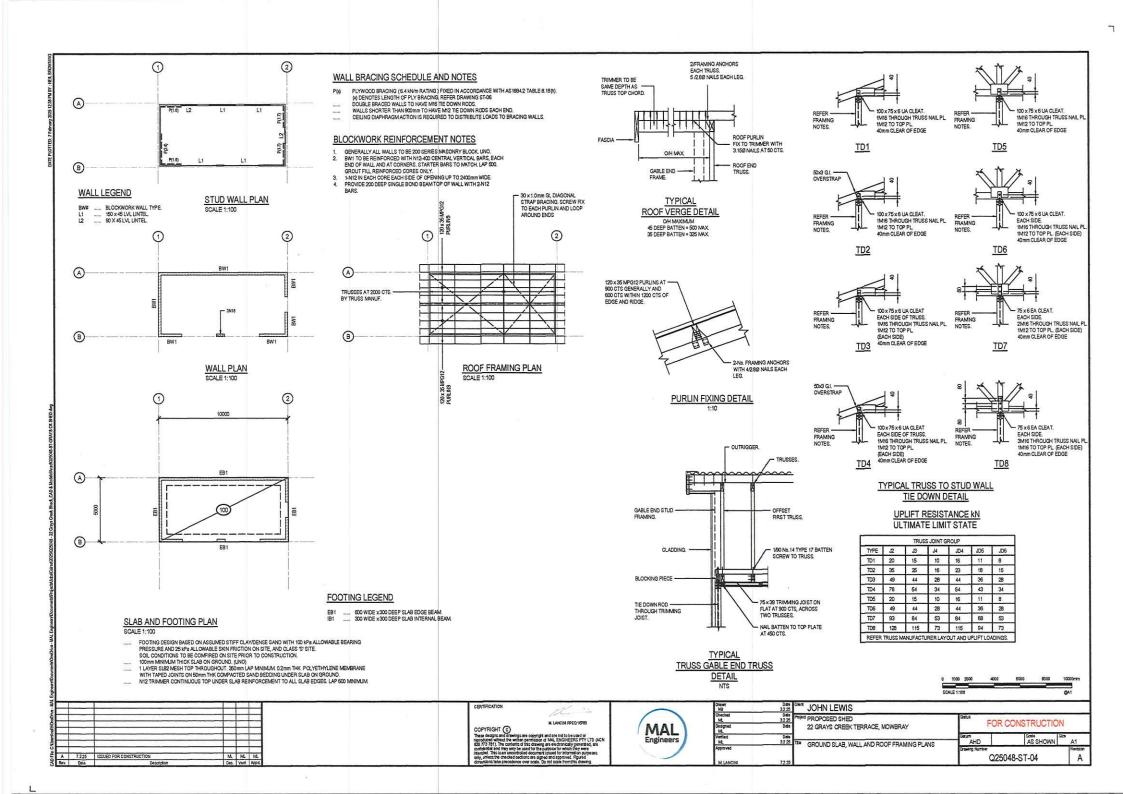
Performance Criteria	Acceptable Solution	Proposal
The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	Development is located on parts of the site that are not within the Hillslopes constraint subcategory as shown on the Hillslopes overlay Maps contained in schedule 2.	It is proposed to develop a shed in the hillslopes overlay area. The shed is finished in suitable colours to protect the scenic backdrop. [ronstone colour

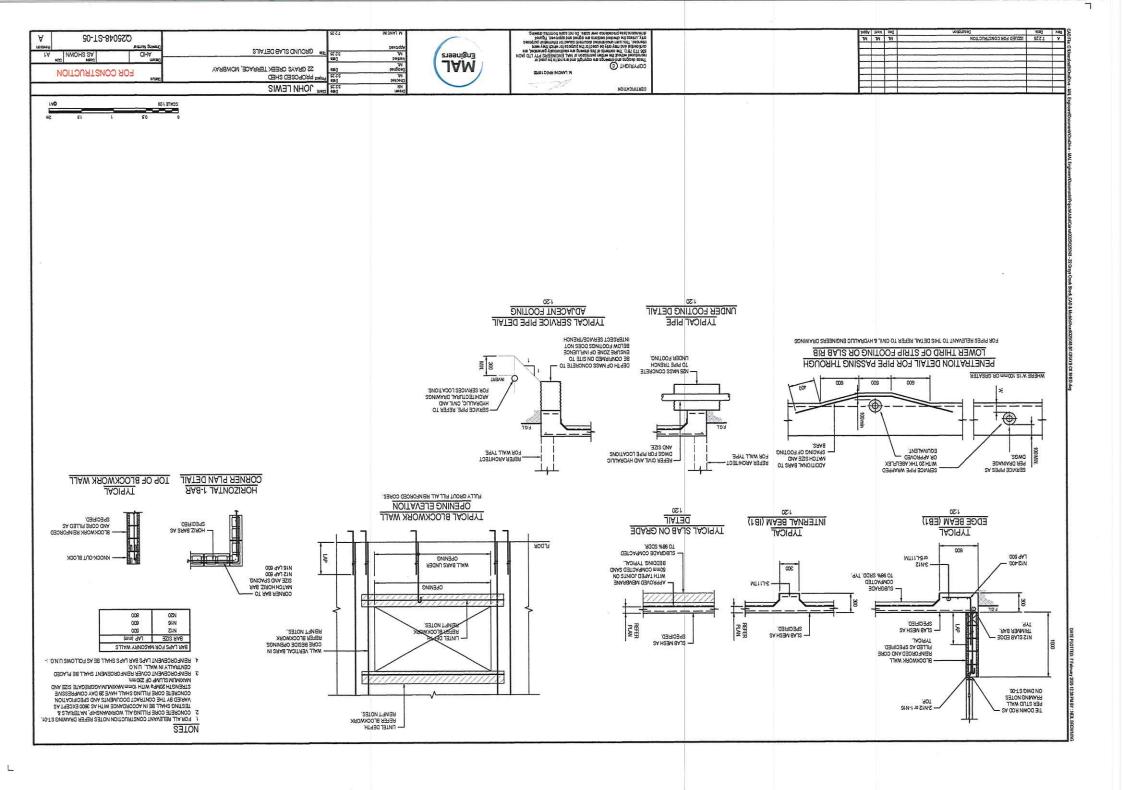
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ſA	MWOHS SA GHA	040 045 13 3T2 41T 25.50	Verified	znaanign3	These designs and direction are copyright and are not to be used or reproduced without the written permitted or sinke. ENGINEERS PTY LTD (ACM		
BO9AAL	MOT TO BE USED FOR CONSTRUCTION P	YAREWOW, SOARRET HEEKS SYARD SS.	Designed	(JAM)	Тноия часо		
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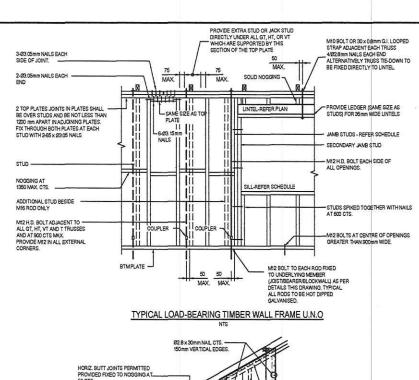
SITE PLAN

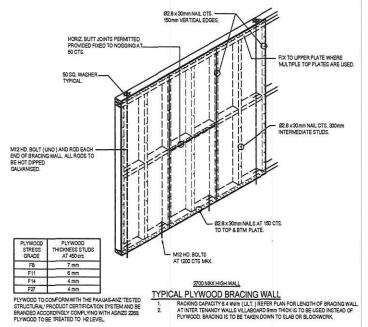












A 7.225 ISSUED FOR CONSTRUCTION

EXTERNAL LOAD E	EARING WALLS (LBW) - MGP	12 UNO.		
MEMBER	SIZE	FIXING & TIE-DOWN		
TOP PLATE	2/36 x 90			
STUDS	- Commission of the Commission	SPACING OF TIE-DOWN FIXINGS:		
< 2700	35 x 90 AT 450 CTS	M12 4,6/S CYCLONE ROD / HOLD DOWN BOLT TO BE AT 900 MAX CTS		
2700 UPTO 3000	45 x 90 AT 450 CTS	BOLT TO BE AT 900 MAC CIS		
3000 UP TO 3300	45 x 90 AT 300 CTS			
3300 UPTO 4000	2/45 x 90 AT 300 CTS			
BTMPLATE	35 x 90	3		
NOGGINS	35 x 90 AT 1350 MAX CTS			
SILLS	SEE SILL SCHEDULE			
INTERNAL NON LO	AD BEARING WALLS (NLBW) -	MGP10 UNO.		
MEMBER	SIZE	FIXING & TIE-DOWN		
TOP PLATE	35×70	THE PROPERTY OF SOME STOLEN OF WITH AN		
STUDS		FIX BTM PLATES TO FLOOR STRUCTURE WITH M12 46/S AT ENDS OF WALL, EACH END OF LINTEL AND		
< 2700	35 x 70 AT 450 CTS	INTERMEDIATE AT 1200 MAX. CTS		
2700 UP TO 3600	2/35 x 70 AT 450 CTS			
	or 1/35 x 90 AT 450 CTS			
3600 UPTO 4200	2/35 x 90 AT 450 CTS			
BTMPLATE	35×90	1		
NOGGINS	35 x 90 AT 1350 MAX CTS	1		

WALL STUDS, TOP AND BTM PLATES SHALL NOT BE NOTCHED OR TRENCHED. WALL
FRAMING TO BE SEASONED AND L.O.S.P. TREATED.
RIBBON TOP PLATE SPLICES TO BE STAGGERED.

JAMB STU	DISCHEDULE
OPENING WIDTH	No. OF STUDS
0 - 1200	1
1200 - 2400	2
<3300	3
3300 AND ABOVE	4

NOTE: THE No. OF STUDS INCLUDES THE SECONDARY JAMB STUD.

WINDO	M SILL SCHEDULE
OPENING WIDTH	SILL MEMBER
< 1500	SAME AS COMMON STUD
1800	90x35 MGP12
2100	90x35 MGP12
2400	90x35 MGP12
2700	90x45 MGP12
3000	2/90x35 MGP12
3300	2/90x36 MGP12
3600	3/90x35 MGP12

NOTE: USE 70 or 90 mm TO MATCH NOMINAL STUD SIZE.

0 0.5 1 1.5 2m SCALE 120 QA1

CENTRICATION

M. LANCIN RPG 18790

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Drawn NB	Date 3.2.25	Client JOHN LEWIS			
Checked ML	0.45	Project PROPOSED SHED	Satus COD	CONCTRUCTION	_
Designed ML	Date	22 GRAYS CREEK TERRACE, MOWERAY	FOR CONSTRUCTION		
Vertied ML	Date 3.2.25	The course was a constant of the constant of t	Detum AHD	AS SHOWN	A1
Approved	32.25 Title STUD WALL FRAMING DETAILS		Crawing Number		Revido
M LANCINI	72.25	24 B	Q25	048-ST-06	A

ALL WALLS AND COLLINAS SHALL BE CONCENTRIC WITH SUPPORTING FOOTINGS UNLESS NOTES STABLE, DEWATERED AND CLEANED OF LODGE AND SOFT MATERIAL PRIOR TO PLACING CONCHETE. ALL FOOTING EXCAVATIONS SHALL BE FORMED AS NECESSARY WHEN EXCAVATED FACE IS NOT EXCAVATION, UNDERPRING SHALL BE CARRIED OUT AS DETAILED OR REQUIRED BY THE

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FOOLING NOTES

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SAFETY IN DESIGN

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SONITOO:

DURABLITY EXPOSURE TO ASSISTE (81 EXPOSURE U.N.O.) CONCRETE ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING BCA STRUCTURE IMPORTANCE LEVEL. MIND CLASSIFICATION ...

DESIGN MIND AETOCILL (N°) WIND LOADS ARE IN ACCORDANCE WITH AS1170.2 AS FOLLOWS:

GA013V1	AREA
	1000
194 E1	CENERAL
844 SZ0	ROOF
	PAY SZO 12 FB# FMETOYO

CONEMNENT ORDINANCES FOR THE FOLLOWING DESIGN CHITERIA: THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS AND LOCAL IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STRUDARDS AND LOCAL

DESIGN CRITERIA

GENERAL

- 7. UNLESS NOTED OTHERWISE ALL LEVELS ARE IN WETRES AND ALL DIMENSIONS ARE IN MILINETRES. O DIRING CONCLENCIUDN THE STRUCTURE DEVIT EE PROVIDED BY THE CONTITACTOR TO KEEP WINTAMED IN Y STREEF CONDITION AND NO PART INC.
- NOT BE SCALED FOR DIMENSIONS.

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 - 3. CONSTRUCTION FROM THESE DRAWINGS AND ASSOCIATED CONSULTANTS DRAWINGS SHALL NOT TO THE ENGINEER PRICK TO PROCEEDING WITH CONSTRUCTION.
- THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR STRUCTURAL BEYILLS SHALL BE REFERRED
 ALL DISCEMENCIES THAT COULD RESULT IN CHANGES IO THE STRUCTURAL DETAILS SHALL BE REFERRED
 FOR THE PROPERS THAT COULD RESULT IN CHANGES IO THE STRUCTURAL DETAILS SHALL BE REFERRED COURSE OF THE CONTINACT.
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Form 15

Compliance certificate for building design or specification



This form is the approved form that must be used in accordance with section 10 of the *Building Act 1975* and sections 73 and 77 of the Building Regulation 2021 (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

Where applicable, the description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address	22 Grays Creek Terrace				
			Suburb/locality	Mowbray	
State	QLD		Postcode	4877	
Lot and plan de	tails (attach list if necessary)	19			
Lot 2 on RP804	919				
Local governme	ent area the land is situated in				
Douglas Shire	Council				

2. Description of aspect/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

The structural components of the proposed shed structure.

Project Number Q25048

2.	Owner Details	Name (in full)							
	If the owner is a company, a contact person must be shown.	John Lewis							
	All correspondence will be mailed to	Company name (if applicable)			Contact person				
	this address.								
		Business phone number			Mobile number				
					0466456022				
		Email address							
		4burntsticks@gmail.com	4burntsticks@gmail.com						
		Postal address							
		22 Grays Creek Terrace							
		MOWBRAY	State	QLD	Postcode	4877			
_									
3.	Description of proposed building work	Insert description							
		New Construction of Shed							
4.	Private certifier	Name of building certifier (in full)							
	If the certifier works for a company,	Aaron Sweeney							
	a contact person must be shown.	Company name (if applicable)			Contact person				
		Baker Building Certification							
		Business phone number			Mobile numbe	er			
		07 40913267							
		Email address							
		aaron@bakerbuildingcert.com.au							
		Postal address							
		PO Box 1083							
		Tolga	State	QLD	Postcode	4883			
		Licence number							
		A1215391							
		A1210091							
5.	Private certifier's signature	Signature			Date				
		li Leaney.			04 Apr 202	5			



Form 18

Notice to the owner (where owner is not the client) that a private building certifier has been engaged



This form is the approved form that must be used in accordance with section 143A(3) of the *Building Act 1975* when a private certifier has been engaged by a client, who is not the owner of the building, to undertake private certifying functions.

Section 143A(3) of the *Building Act 1975* requires the private building certifier, within 15 business days after the engagement starts, to give the owner, in the approved form (Form 18), their name and details of their responsibilities as the engaged private certifier, unless the private certifier has a reasonable excuse.

Notify the owner of a building that a private certifier has been engaged.	Notify the owner of a building that a private certifier has been engaged (send to owner)		
	I advise that (insert name of private building certifier in the box)		
	Aaron Sweeney		
	has been engaged as the private building certifier to assess and carry out inspections of the proposed building work described in sections 1 and 3 below.		
	Baker Building Certification		
	Company name (if applicable)		
	Date of engagement		
	18 02 2025		
	DD / MM / YYYY		
	 The fee payable to assess and carry out inspections of single detached class 1a buildings and structures and class 10 buildings and structures will cover the following inspections by the certifier: 		
	☐ Foundation and excavation		
	☐ Slab stage		
	☐ Frame stage		
	🔀 Final stage		
	☐ Other stages / aspects (please indicate)		
	 The fee payable to assess and carry out inspections for all other classes of buildings refers to the inspections included in the development application. 		
	 b. The fee payable to assess and carry out inspections for all other classes of buildings refers to the inspections included in the development application. Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31) (refer section 143B of the <i>Building Act 1975</i>). 		
1. Property description	buildings refers to the inspections included in the development application. Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31)		
The description must identify all land	buildings refers to the inspections included in the development application. Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31) (refer section 143B of the <i>Building Act 1975</i>). Street address (include number, street, suburb/locality and postcode)		
The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP)	buildings refers to the inspections included in the development application. Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31) (refer section 143B of the Building Act 1975). Street address (include number, street, suburb/locality and postcode) 22 Grays Creek Terrace		
The description must identify all land the subject of the application.	buildings refers to the inspections included in the development application. Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31) (refer section 143B of the Building Act 1975). Street address (include number, street, suburb/locality and postcode) 22 Grays Creek Terrace		
The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice. If the plan is not registered by title,	buildings refers to the inspections included in the development application. Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31) (refer section 143B of the Building Act 1975). Street address (include number, street, suburb/locality and postcode) 22 Grays Creek Terrace MOWBRAY State QLD Postcode 4877		
The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.	buildings refers to the inspections included in the development application. Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31) (refer section 143B of the Building Act 1975). Street address (include number, street, suburb/locality and postcode) 22 Grays Creek Terrace MOWBRAY State QLD Postcode 4877 Lot and plan details (attach list if necessary)		

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

Design has been carried out in accordance with the deemed to comply provisions of the BCA and its referenced SAA Codes such as:-

- AS 1170.1 DEAD & LIVE LOADS & LOAD COMBINATIONS
- AS4055 WIND LOADS FOR HOUSING C2 Wind Classification
- AS1684.3 RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS2870 RESIDENTIAL SLABS AND FOOTINGS
- AS3700 MASONRY STRUCTURES

All relevant works are to be carried out by a competent builder using good building practice and in compliance with the Building Act Works are to be constructed in compliance with the drawings and associated notes.

The design is based on 100kPa allowable pressure being achieved under the slab and footings and 25kPa skin friction being achieved in bored piers.

The slab has been designed as an S class site in accordance with AS2870.

Truss design is by others.

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

MAL Engineers Drawings: Q25048-ST-01, Q25048-ST-02, Q25048-ST-03, Q25048-ST-04, Q25048-ST-05, Q25048-ST-06

5. Building certifier reference number and building development approval number

Building certifier reference number Building development application number (if available)

6. Appointed competent person details

Under Part 6 of the Building Regulation 2021 a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.

Name <i>(in full)</i>	Michael Lancini on behalf of MAL Engineers Pty Ltd		
Company name (if applicable)	MAL Engineers Pty Ltd		
Contact person	Michael Lancini		
Business phone number	0400748070	Mobile	0400748070
Email address	Michael.lancini@malengineers.com.au		
Postal address	5/520 Mulgrave Road		
		Suburb/locality	Earlville
State	QLD	Postcode	4870
Licence class or registration type (if applicable)	RPEQ		
Licence or registration number (if applicable)	18786		

7. Signature of appointed competent person

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.

Signature Date 9/02/2025

LOCAL GOVERNMENT USE ONLY

Date received Click or tap to enter a date. Reference number/s



Form 15

Compliance certificate for building design or specification



This form is the approved form that must be used in accordance with section 10 of the Building Act 1975 and sections 73 and 77 of the Building Regulation 2021 (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

Street address (include number, street, suburb/locality and postcode) 1. Property description 22 Grays Creek Terrace This section need only be completed If details of street address and State QLD Postcode 4877 Mowbray property description are applicable. E.g. in the case of (standard/generic) Lot and plan details (attach list if necessary) pool design/shell manufacture and/ or patio and carport systems this Lot 2 on RP 804919 section may not be applicable. Local government area the land is situated in Where applicable, the description Douglas Shire Council must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a

2.Description of aspect/s certified

If the plan is not registered by title, provide previous lot and plan details.

rates notice.

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Design and Fabrication of Prefabricated Timber Roof Trusses to Design Loads & Australian Standards, as noted in the Producer Statement Report "Truss Design Criteria for Building Permit". Design assumes building is suitably braced and stable in its own aspect, the roof Bracing system is NOT designed for Building Lateral Stability. Buildings Lateral Stability is assumed to be adequate and designed as per recommendations in AS1684.

"Application" - Job Ref:" also included Installation by other in accordance with "AS4440-2004" Installation of Nail Plated Timber Trusses.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

The truss designs for this job have been determined using computer software provided by Pryda Australia, using sound and widely accepted engineering principles. In particular, loadings and designs are performed in accordance with the Standards adopted by primary reference in the National Construction Code (NCC 2019), Part A4.0 and Schedule 4 of Volume One and Two.

The software used in the preparation of these designs complies with the requirements in the ABCB "Protocol for Structural Software" (Version 2011.2), where applicable. In addition, the following secondary referenced Australian Standards also apply: AS 1649-2001: Timber - Methods of test for mechanical fasteners and connectors - Basic working loads and characteristic strengths

4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Project Job No Shed Job Reference: 22078821	
5. Building certifier reference number and building development application number	Building certifier reference number Building development application number (if a	vailable)
6.Appointed competent person details Under Part 6 of the Building Regulation 2021 a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.	Name (In full) lan Cumming Company name (If applicable) Cairns Hardware CO. Business phone number (07) 4035 7500 Email address lan.Cumming@cairnshardware.com.au Postal address P.O. Box 5553 Cairns Licence class or registration type (If applicable) Licence or registration number (If applicable)	Mobile number 0419 741 198
7. Signature of appointed competent person This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.	Signature Signature	Date 20/02/2025
LOCAL GOVERNMENT USE ONLY Date received	Reference number/s	



BAKER BUILDING CERTIFICATION

Private Building Certifiers

meb: 0448 377 172 phone: 07 4091 3267 web: www.bakerbuildingcert.com.au address: 5/154 Robert Street, Atlenton: postal: PO Box 1083, Tolga 4882

RESIDENTIAL | COMMERCIAL | INDUSTRIAL | REMOTE

21st February 2025

Re: Bushfire Construction Report for a proposed garage at Lot 2 / RP 804919 - 22 Grays Creek Terrace MOWBRAY

Baker Building Certification was engaged to carry out an assessment of the Bushfire Attack Level (BAL) associated with the proposed dwelling on the above-mentioned allotment. A desktop review of AS 3959:2018 and a site inspection was conducted on the 20.02.2025 - Simplified Method was conducted thereafter of concept site plan prepared by MAL Engineers.

Part 3.2.2 of AS3959 states for Garages and carports beneath the subject building: Where a garage or carport is beneath a building required to comply with this Standard, it shall conform with the construction requirements of this Standard, as applicable to the subject building. The table below summarises the assessment of the subject site and the vegetation classification applicable to it under Australian Standard 3959 Construction of Buildings in Bushfire Prone Areas. The BAL must be determined in order to specify the method construction required under the standard for the building. The BAL for this site was determined as follows;

AS3959 Clauses	Comments
Fire Danger Index - Table 2.1 This table determines set regional values for the relevant fire danger.	Douglas Shire is in Far North Queensland therefore an FDI of 40 applies to this site.
Vegetation Classification Clause 2.2.3 – Table 2.3 groups the vegetation type in classifications. Figure 2.4 of the standard then provides a summary of the types of typical vegetation applicable to Australia in bushfire prone areas.	The site assessment revealed some rainforest and forest species which are classified as Group F and A vegetation.
Distance to classified vegetation Clause 2.2.4 - This is the distance measured from the wall of the proposed building to the edge of the vegetation taken from four directions.	The closest prominent vegetation surrounding the proposed shed is rainforest which is exempt under the NCC in Queensland. The other surrounding vegetation is Forest which is >28m away from the proposed shed location at the rear of the allotment/western side.
Effective Slope of the land under the classified vegetation Clause 2.2.5 — The slope of the ground under the vegetation that poses a fire threat is assessed under this clause along with whether it is upslope or downslope in relation to the site in accordance with Figure 2.3.	The slope of the land is considered upslope from the prominent fire risk at the rear of the allotment.

BAKER BUILDING CERTIFICATIONPrivate Building Certifiers

mob 0448 377 172 phone 07 4091 3267 web www.bakerbuildingcert.com.au address 5/154 Robert Street, Atherton postal PO Box 1083, Tolga 4882

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Determination of Bushfire Attack Level (BAL) Clause 2.2.6 - Refer to Table 2.7

Given the location to the prominent vegetation which is a minimum of >28m from the she location and existing fire breaks such as road reserves and other cleared allotments in the area that further reduce any risk from a natural bushfire, the bushfire attack level is considered to be BAL 12.5.





BAKER BUILDING CERTIFICATION

Private Building Certifiers

medi. 0448-377 172 phone 07-4091-3267 seeb www.bakerbuildingcert.com.au address 5/154 Robert Street, Atherton, postal PO Box 1083, Tolga 4882

RESIDENTIAL | COMMERCIAL | INDUSTRIAL | REMOTE

Once the BAL for the site has been determined specific construction requirements are applicable subject to the relevant sections of AS 3959. A list of these requirements is provided below, this list is not completely exhaustive, and it is recommended that the designer refer to Section 5 of AS 3959.

Construction Sections	Specific Requirements		
	Sections 3 and 5 applicable;		
BAL - 12.5 Refer to Table			
3.1	Gaps between doors and door jambs, and thresholds must be		
	3mm or less, or draught excluders are to be provided.		
	Exposed components of external walls that are less than		
	400mm from the ground or above decks must be clad in non-		
	combustible material, bushfire resistant timber or fibre cement a		
	minimum of 6mm thick.		
	All joints in the external cladding must be covered sealed or		
	overlapped to prevent gaps >3mm.		
	Windows with openable portions are to be screened with		
	corrosion resistant metal flyscreens with a maximum aperture of		
	2mm. Window frames must be metal and glazing must be a minimum		
	of Grade A safety glass. Alternatively bushfire shutters can be fixed to		
	the building and complying with Clause 3.7.		
	Side hung external doors must be either solid core, minimum		
	of 35mm thick, hollow core with a non-combustible kick plate up to		
	400mm above the threshold or hollow core and fitted with a metal		
	screen as with the windows.		
	Where any part of the door frame is within 400mm of the		
	ground or decks, the frame must be constructed of timber with a		
	density > 650kg/m3 or non-combustible construction. Sliding doors must have metal frames and any glazing		
	incorporated in the frame must be a minimum of Grade A safety		
	glass.		
	Roof ventilation openings must be fitted with ember guards.		
	Sheet roofs are to be fully sarked (covering the entire roof)		
	area, over ridges and hips). Gaps at roof edges >3mm are to be sealed		
	with mineral wool or other non-combustible material. This includes at		
	valleys and box gutters.		
	Eaves are to be sealed, and ventilated eaves must be		
	protected with ember guards. Alternatively, gutter guards with a		
	maximum aperture of 2mm may be used.		
	Decking, stair treads and landings must be made from timber		
	with a density > 650kg/m3.		
	Above ground exposed water and gas supply pipes must be		
	metal.		

TABLE 3.1 BUSHFIRE ATTACK LEVELS AND CORRESPONDING SECTIONS FOR SPECIFIC CONSTRUCTION REQUIREMENTS

Bushfire Attack Level (BAL)	Classified vegetation within 100 m of the site and heat flux exposure thresholds	Description of predicted bushfire attack and levels of exposure	Construction Section
BAL-LOW	See Clause 2.2.3.2	There is insufficient risk to warrant specific construction requirements	4
BAL-12.5	≤12.5 kW/m ²	Ember attack	3 and 5
BAL—19	>12.5 kW/m ² ≤19 kW/m ²	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 and 6
BAL—29	>19 kW/m² ≤29 kW/m²	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 and 7
BAL—40	>29 kW/m² ≤40 kW/m²	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux with the increased likelihood of direct contact with flames	3 and 8
BAL—FZ	>40 kW/m ²	Direct exposure to flames from fire front in addition to heat flux and ember attack	3 and 9

The assessment of the Bushfire Attack Level for this is based on the vegetation classification and distances measured at the time of assessment. In the future the distance to the predominant vegetation will need to be maintained in order for the BAL applicable to remain unchanged for the life of the building.

Should you require any further information or wish to discuss the assessment in more details, please contact me on 0437127724 or by email aaron@bakerbuildingcert.com.au .

Kind Regards,

Prepared by Aaron Sweeney A1215391

Baker Building Certification.