

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving building work.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	John Lewis
Contact name (only applicable for companies)	John
Postal address (PO Box or street address)	22 Grays Creek Terrace
Suburb	Mowbray
State	Queensland
Postcode	4877
Country	Australia
Contact number	0466 456 022
Email address (non-mandatory)	4burntsticks@gmail.com
Mobile number (non-mandatory)	-
Fax number (non-mandatory)	-
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

2.1) Street address and lot on plan

☐ Street address **AND** lot on plan (all lots must be listed), **or**



<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).			
Unit No.	Street No.	Street Name and Type	Suburb
	22	Grays Creek Terrace	Mowbray
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4877	L2	RP 804919	

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

☒ Yes – proceed to 8)
☐ No

5) Identify the assessment manager(s) who will be assessing this development application

Baker Building Certification

6) Has the local government agreed to apply a superseded planning scheme for this development application?

☐ Yes – a copy of the decision notice is attached to this development application
☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
☐ No

7) Information request under Part 3 of the DA Rules

☐ I agree to receive an information request if determined necessary for this development application
☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
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PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

☐ Yes – the *Referral checklist for building work* is attached to this development application

☐ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

☐ Yes – referral response(s) received and listed below are attached to this development application

☒ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

☒ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	

Suburb	
State	
Postcode	
Country	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	John Lewis
Contact name (applicable for companies)	John
QBCC licence or owner – builder number	1111050
Postal address (P.O. Box or street address)	PO Box 617
Suburb	Port Douglas
State	Queensland
Postcode	4877
Contact number	0466 456b022
Email address (non-mandatory)	4burntsticks@gmail.com
Mobile number (non-mandatory)	-
Fax number (non-mandatory)	-

16) Provide details about the proposed building work

What type of approval is being sought?

- ☐ Development permit
☒ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment
☐ Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|--|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification (involving building work) | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input checked="" type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? (if applicable)
g) New building use/classification? (if applicable)
Shed and hobby studio
h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?
80,000

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>
Note: It is unlawful to intentionally provide false or misleading information.
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Notification of engagement of alternative assessment manager

Prescribed assessment manager	<input type="text"/>
Name of chosen assessment manager	<input type="text"/>
Date chosen assessment manager engaged	<input type="text"/>
Contact number of chosen assessment manager	<input type="text"/>
Relevant licence number(s) of chosen assessment manager	<input type="text"/>

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	

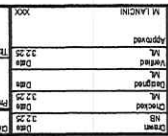
AA Request

Performance Criteria	Acceptable Solution	Proposal
The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	Development is located on parts of the site that are not within the Hillslopes constraint subcategory as shown on the Hillslopes overlay Maps contained in schedule 2.	It is proposed to develop a shed in the hillslopes overlay area. The shed is finished in suitable colours to protect the scenic backdrop. <i>Ironstone colour</i>

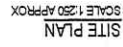
CERTIFICATION

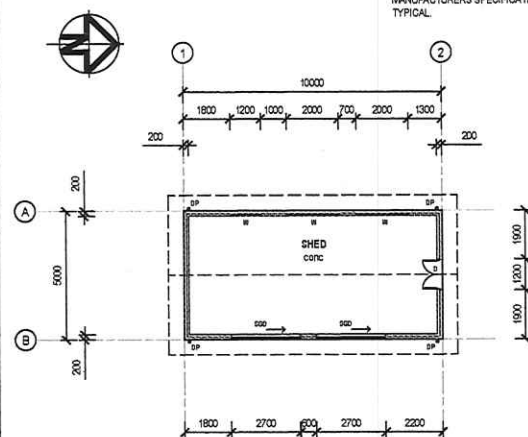
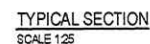
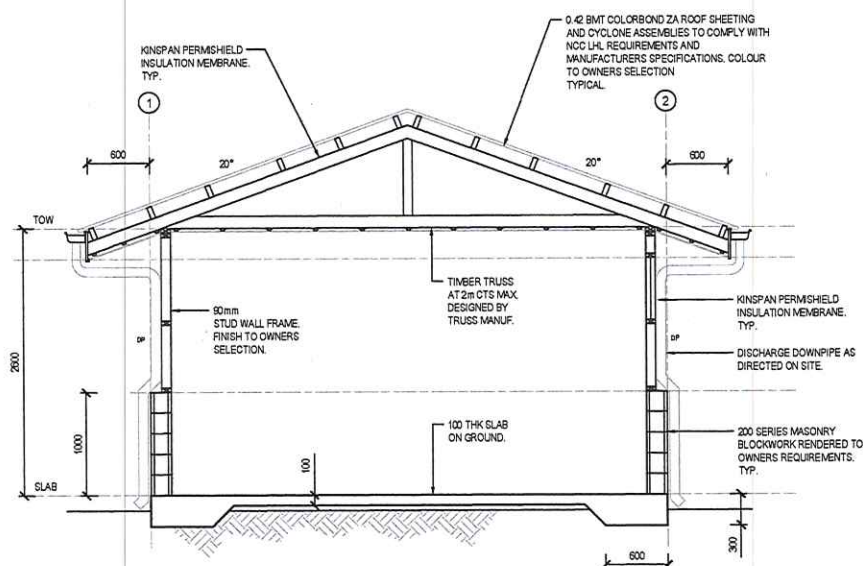
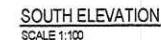
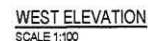
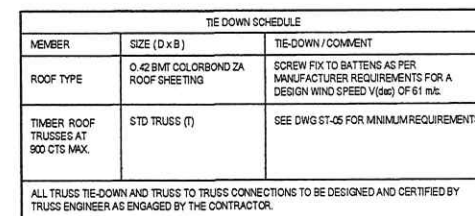
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Drawing Number		Q25048-ST-02	
Column	A/D	AS SHOWN	A/1
NOT TO BE USED FOR CONSTRUCTION PURPOSES			
PRELIMINARY			





LEGEND

D	DOOR.
W	WINDOW.
GD	SLIDING GLASS DOOR.
DP	DOWNPIPE.

NOTE

NOTE
ALL DIMENSIONS SHALL BE CONFIRMED ON SITE
BY BUILDER PRIOR TO ANY PROCUREMENT OF
ANY MATERIALS

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Drawn	Date
NB	3/2/25
Checked	Date
ML	3/2/25
Designed	Date
ML	
Verified	Date
ML	3/2/25
Approved	
M. J. J. J. J.	3/2/25

25	Client	JOHN LEWIS
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Project PROPOSED SHED
22 GRAYS CREEK TERRACE, MOWBRAY

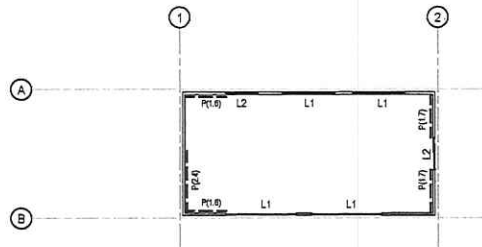
25	Title	FLOOR, ROOF PLAN, ELEVATIONS AND SECTION
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Status	FOR CONSTRUCTION
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Display		Scale	Size
AHD		AS SHOWN	A1

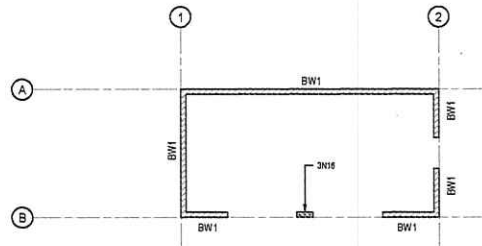
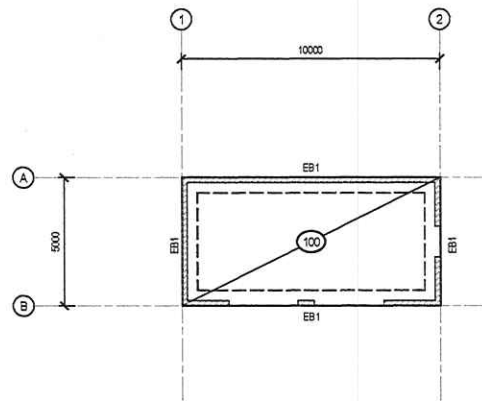
Drawing Number	Q25048-ST-03	Rev
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A	7-2-95	ISSUED FOR CONSTRUCTION						ML	ML	ML
Rev.	Date	Description						Des.	Vent	Appr.



WALL LEGEND

BW# BLOCKWORK WALL TYPE
L1 150 X 45 LVL UNTEL.
L2 90 X 45 LVL UNTEL.

STUD WALL PLAN
SCALE 1:100WALL PLAN
SCALE 1:100SLAB AND FOOTING PLAN
SCALE 1:100

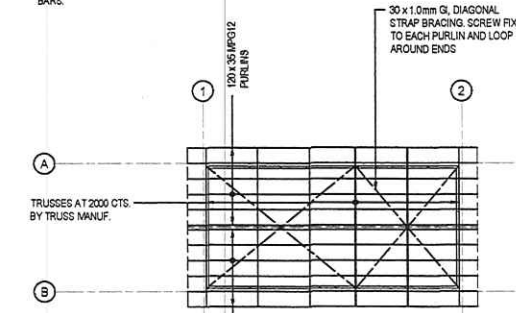
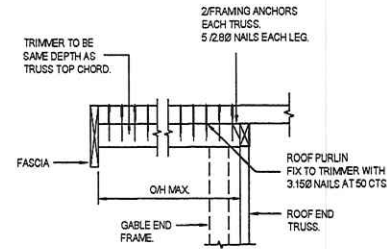
FOOTING DESIGN BASED ON ASSUMED STIFF CLAY/DENSE SAND WITH 100 kPa ALLOWABLE BEARING PRESSURE AND 25 kPa ALLOWABLE SKIN FRICTION ON SITE, AND CLASS 'S' SITE. SOIL CONDITIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. 100mm MINIMUM THICK SLAB ON GROUND. (JNO) 1 LAYER SUB2 MESH TOP THROUGHOUT. 350mm LAP MINIMUM. 0.2mm THK POLYETHYLENE MEMBRANE WITH TAPED JOINTS ON 50mm THK COMPACTED SAND BEDDING UNDER SLAB ON GROUND. N12 TRIMMER CONTINUOUS TOP UNDER SLAB REINFORCEMENT TO ALL SLAB EDGES. LAP 600 MINIMUM.

WALL BRACING SCHEDULE AND NOTES

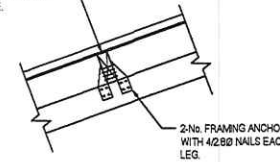
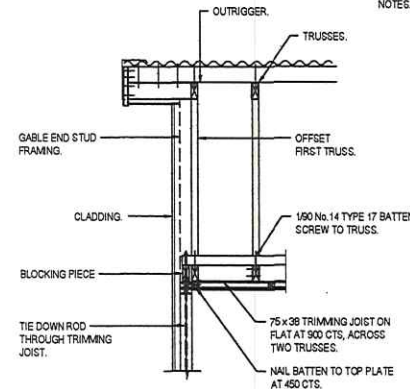
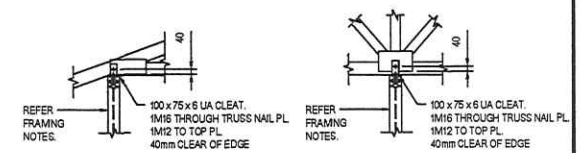
PW PLYWOOD BRACING (6.4 kN/m RATING) FIXED IN ACCORDANCE WITH AS 1684.2 TABLE 8.18(1). (W) DENOTES LENGTH OF PLY BRACING. REFER DRAWING ST-06. DOUBLE BRACED WALLS TO HAVE M16 TIE DOWN RODS. WALLS SHORTER THAN 900mm TO HAVE M12 TIE DOWN RODS EACH END. CEILING DIAPHRAGM ACTION IS REQUIRED TO DISTRIBUTE LOADS TO BRACING WALLS.

BLOCKWORK REINFORCEMENT NOTES

- GENERALLY ALL WALLS TO BE 200 SERIES MASONRY BLOCK UNDO.
- BW1 TO BE REINFORCED WITH N12-400 CENTRAL VERTICAL BARS, EACH END OF WALL AND AT CORNERS. STARTER BARS TO MATCH LAP 500. GROUT FILL REINFORCED CORES ONLY.
- 1-N12 IN EACH CORE EACH SIDE OF OPENING UP TO 2400mm WIDE.
- PROVIDE 200 DEEP SINGLE BOND BEAM TOP OF WALL WITH 2-N12 BARS.

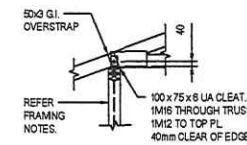
ROOF FRAMING PLAN
SCALE 1:100TYPICAL
ROOF VERGE DETAIL

120 x 35 MPG12 PURLINS AT 900 CTS GENERALLY AND 800 CTS WITHIN 1200 CTS OF EDGE AND RIDGE.

PURLIN FIXING DETAIL
1:10TYPICAL
TRUSS GABLE END TRUSS
DETAIL
NTS

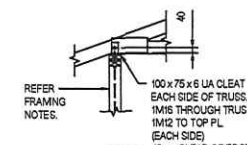
TD1

TD5



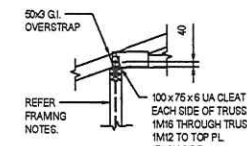
TD2

TD6



TD3

TD7



TD4

TD8

TYPICAL TRUSS TO STUD WALL
TIE DOWN DETAILUPLIFT RESISTANCE kN
ULTIMATE LIMIT STATE

TYPE	TRUSS JOINT GROUP					
	J2	J3	J4	J5	J6	J7
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	78	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73

REFER TRUSS MANUFACTURER LAYOUT AND UPLIFT LOADINGS.

0 1000 2000 4000 6000 8000 10000mm
SCALE 1:100

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M. LANCINI (P) 15/05

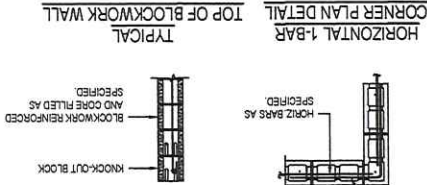
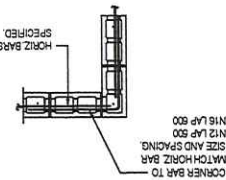
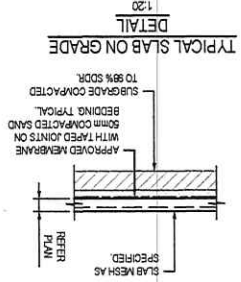
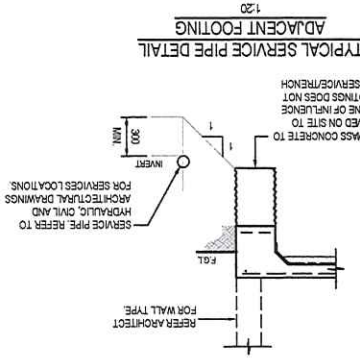


Drawn: M. LANCINI
Checked: M. LANCINI
Designed: M. LANCINI
Verified: M. LANCINI
Approved: M. LANCINI

Client: JOHN LEWIS
Project: PROPOSED SHED
22 GRAYS CREEK TERRACE, MOWBRAY
Title: GROUND SLAB, WALL AND ROOF FRAMING PLANS

FOR CONSTRUCTION

Status: AHD
Scale: AS SHOWN
Size: A1
Drawing Number: Q25048-ST-04
Revision: A

[illegible]

BAR LAPS FOR MASONRY WALLS	
BAR SIZE	LAP (mm)
N12	500
N16	600
N20	800

- NOTES**
1. CONCRETE CORE FILLING MATERIALS & METHODS
 2. CONCRETE CORE FILLING MATERIALS & METHODS AS TESTED SHALL BE IN ACCORDANCE WITH AS 3603 EXCEPT AS VARIED BY THE CONTRACT DOCUMENTS AND SPECIFICATION
 3. COMPRESSIVE STRENGTH SHALL HAVE 28 DAY COMPRESSIVE STRENGTH ZONE 1 WITH 10mm MAXIMUM AGGREGATE SIZE AND MAXIMUM SLUMP OF 200mm
 4. REINFORCEMENT COVER REINFORCEMENT SHALL BE PLACED CENTRALLY IN WALL UNO
 5. REINFORCEMENT TYPED BAR PPS SHALL BE AS FOLLOWS UNO



1. RACKING CAPACITY 6.4 kN/m (ULT.) REFER PLAN FOR LENGTH OF BRACING WALL
2. AT INTER TENANCY WALLS VILLABOARD 9mm THICK IS TO BE USED INSTEAD OF PLYWOOD. BRACING IS TO BE TAKEN DOWN TO SLAB OR BLOCKWORK.

PLYWOOD TO CONFORM WITH THE PAUJAS-ANZ 'TESTED
STRUCTURAL' PRODUCT CERTIFICATION SYSTEM AND BE
BRANDED ACCORDINGLY COMPLYING WITH AS/NZS 2269.
PLYWOOD TO BE TREATED TO H2 LEVEL.

NOTE: USE 70 or 90mm TO MATCH NOMINAL STUD SIZE.



Datum AHD	Scale AS SHOWN	Size A1
Drawing Number Q25048-ST-06		Rev

This form is the approved form that must be used in accordance with section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

Where applicable, the description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address	22 Grays Creek Terrace		
	Suburb/locality	Mowbray	
State	QLD	Postcode	4877
Lot and plan details (<i>attach list if necessary</i>)			
Lot 2 on RP804919			
Local government area the land is situated in			
Douglas Shire Council			

2. Description of aspect/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

The structural components of the proposed shed structure.
Project Number Q25048

2. Owner Details

If the owner is a company, a contact person must be shown.

All correspondence will be mailed to this address.

Name (in full)

John Lewis

Company name (if applicable)**Contact person****Business phone number****Mobile number**

0466456022

Email address

4burntsticks@gmail.com

Postal address

22 Grays Creek Terrace

MOWBRAY

State QLD

Postcode 4877

3. Description of proposed building work

Insert description

New Construction of Shed

4. Private certifier

If the certifier works for a company, a contact person must be shown.

Name of building certifier (in full)

Aaron Sweeney

Company name (if applicable)**Contact person**

Baker Building Certification

Business phone number**Mobile number**

07 40913267

Email address

aaron@bakerbuildingcert.com.au

Postal address

PO Box 1083


Tolga

State QLD

Postcode 4883

Licence number

A1215391

5. Private certifier's signature**Signature****Date**

04 Apr 2025

Form 18

Notice to the owner (where owner is not the client) that a private building certifier has been engaged



This form is the approved form that must be used in accordance with section 143A(3) of the *Building Act 1975* when a private certifier has been engaged by a client, who is not the owner of the building, to undertake private certifying functions.

Section 143A(3) of the *Building Act 1975* requires the private building certifier, within 15 business days after the engagement starts, to give the owner, in the approved form (Form 18), their name and details of their responsibilities as the engaged private certifier, unless the private certifier has a reasonable excuse.

Notify the owner of a building that a private certifier has been engaged.

☒ Notify the owner of a building that a private certifier has been engaged (send to owner)

I advise that (insert name of private building certifier in the box)

Aaron Sweeney

has been engaged as the private building certifier to assess and carry out inspections of the proposed building work described in sections 1 and 3 below.

Baker Building Certification

Company name (if applicable)

Date of engagement

18 02 2025

DD / MM / YYYY

a. The fee payable to assess and carry out inspections of single detached class 1a buildings and structures and class 10 buildings and structures will cover the following inspections by the certifier:

- ☐ Foundation and excavation
- ☐ Slab stage
- ☐ Frame stage
- ☒ Final stage
- ☐ Other stages / aspects (please indicate)

b. The fee payable to assess and carry out inspections for all other classes of buildings refers to the inspections included in the development application.

Note: the fee does not include the cost of any additional certifying functions to be carried out on request by the owner under an additional certification notice (Form 31) (refer section 143B of the *Building Act 1975*).

1. Property description

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include number, street, suburb/locality and postcode)

22 Grays Creek Terrace

MOWBRAY

State QLD

Postcode 4877

Lot and plan details (attach list if necessary)

Lot 2 on RP 804919

Local government area the land is situated in

Douglas Shire Council

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

Design has been carried out in accordance with the deemed to comply provisions of the BCA and its referenced SAA Codes such as:-

- AS 1170.1 – DEAD & LIVE LOADS & LOAD COMBINATIONS
- AS4055 – WIND LOADS FOR HOUSING– C2 Wind Classification
- AS1684.3 – RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS2870 – RESIDENTIAL SLABS AND FOOTINGS
- AS3700 – MASONRY STRUCTURES

All relevant works are to be carried out by a competent builder using good building practice and in compliance with the Building Act

Works are to be constructed in compliance with the drawings and associated notes.

The design is based on 100kPa allowable pressure being achieved under the slab and footings and 25kPa skin friction being achieved in bored piers.

The slab has been designed as an S class site in accordance with AS2870.

Truss design is by others.

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

MAL Engineers Drawings: Q25048-ST-01, Q25048-ST-02, Q25048-ST-03, Q25048-ST-04, Q25048-ST-05, Q25048-ST-06

5. Building certifier reference number and building development approval number

Building certifier reference number	Building development application number (if available)
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6. Appointed competent person details

Under Part 6 of the Building Regulation 2021 a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.

Name (in full)	Michael Lancini on behalf of MAL Engineers Pty Ltd		
Company name (if applicable)	MAL Engineers Pty Ltd		
Contact person	Michael Lancini		
Business phone number	0400748070	Mobile	0400748070
Email address	Michael.lancini@malengineers.com.au		
Postal address	5/520 Mulgrave Road		
	Suburb/locality	Earlville	
State	QLD	Postcode	4870
Licence class or registration type (if applicable)	RPEQ		
Licence or registration number (if applicable)	18786		

7. Signature of appointed competent person

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.

Signature		Date	9/02/2025
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Date received	Click or tap to enter a date.	Reference number/s
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Trusses

Form 15

Compliance certificate for building design or specification



This form is the approved form that must be used in accordance with section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

<p>1. Property description</p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>Where applicable, the description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include number, street, suburb/locality and postcode)</p> <p>22 Grays Creek Terrace</p> <hr/> <p>Mowbray State QLD Postcode 4877</p> <hr/> <p>Lot and plan details (attach list if necessary)</p> <p>Lot 2 on RP 804919</p> <hr/> <p>Local government area the land is situated in</p> <p>Douglas Shire Council</p> <hr/>
<p>2. Description of aspect/s certified</p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Design and Fabrication of Prefabricated Timber Roof Trusses to Design Loads & Australian Standards, as noted in the Producer Statement Report "Truss Design Criteria for Building Permit". Design assumes building is suitably braced and stable in its own aspect, the roof Bracing system is NOT designed for Building Lateral Stability. Buildings Lateral Stability is assumed to be adequate and designed as per recommendations in AS1684.</p> <p>"Application" - Job Ref:" also included</p> <p>Installation by other in accordance with "AS4440-2004" Installation of Nail Plated Timber Trusses.</p>
<p>3. Basis of certification</p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<p>The truss designs for this job have been determined using computer software provided by Pryda Australia, using sound and widely accepted engineering principles. In particular, loadings and designs are performed in accordance with the Standards adopted by primary reference in the National Construction Code (NCC 2019), Part A4.0 and Schedule 4 of Volume One and Two.</p> <p>The software used in the preparation of these designs complies with the requirements in the ABCB "Protocol for Structural Software" (Version 2011.2), where applicable.</p> <p>In addition, the following secondary referenced Australian Standards also apply:</p> <p>AS 1649-2001: Timber - Methods of test for mechanical fasteners and connectors - Basic working loads and characteristic strengths</p>

4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Project Job No. - Shed Job Reference: 22078821																
5. Building certifier reference number and building development application number	Building certifier reference number Building development application number (if available)																
6. Appointed competent person details Under Part 6 of the Building Regulation 2021 a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.	<table style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">Name (in full) Ian Cumming</td> </tr> <tr> <td style="width: 60%;">Company name (if applicable) Cairns Hardware CO.</td> <td>Contact person</td> </tr> <tr> <td>Business phone number (07) 4035 7500</td> <td>Mobile number 0419 741 198</td> </tr> <tr> <td colspan="2">Email address Ian.Cumming@cairnshardware.com.au</td> </tr> <tr> <td colspan="2">Postal address P.O. Box 5553</td> </tr> <tr> <td>Cairns</td> <td>State QLD Postcode 4870</td> </tr> <tr> <td colspan="2">Licence class or registration type (if applicable)</td> </tr> <tr> <td colspan="2">Licence or registration number (if applicable)</td> </tr> </table>	Name (in full) Ian Cumming		Company name (if applicable) Cairns Hardware CO.	Contact person	Business phone number (07) 4035 7500	Mobile number 0419 741 198	Email address Ian.Cumming@cairnshardware.com.au		Postal address P.O. Box 5553		Cairns	State QLD Postcode 4870	Licence class or registration type (if applicable)		Licence or registration number (if applicable)	
Name (in full) Ian Cumming																	
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Email address Ian.Cumming@cairnshardware.com.au																	
Postal address P.O. Box 5553																	
Cairns	State QLD Postcode 4870																
Licence class or registration type (if applicable)																	
Licence or registration number (if applicable)																	
7. Signature of appointed competent person This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">Signature <i>Ian Cumming</i></td> <td>Date 20/02/2025</td> </tr> </table>	Signature <i>Ian Cumming</i>	Date 20/02/2025														
Signature <i>Ian Cumming</i>	Date 20/02/2025																

LOCAL GOVERNMENT USE ONLY

Date received		Reference number/s	
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BKL

BAKER BUILDING CERTIFICATION

Private Building Certifiers

mobile 0448 377 177 phone 07 4091 3267 web www.bakerbuildingcert.com.au
address 5/154 Robert Street, Allerton postal PO Box 1083, Tolga 4882

RESIDENTIAL | COMMERCIAL | INDUSTRIAL | REMOTE

21st February 2025**Re: Bushfire Construction Report for a proposed garage at Lot 2 / RP 804919 - 22 Grays Creek Terrace MOWBRAY**

Baker Building Certification was engaged to carry out an assessment of the Bushfire Attack Level (BAL) associated with the proposed dwelling on the above-mentioned allotment. A desktop review of AS 3959:2018 and a site inspection was conducted on the 20.02.2025 - Simplified Method was conducted thereafter of concept site plan prepared by MAL Engineers.

Part 3.2.2 of AS3959 states for Garages and carports beneath the subject building: Where a garage or carport is beneath a building required to comply with this Standard, it shall conform with the construction requirements of this Standard, as applicable to the subject building. The table below summarises the assessment of the subject site and the vegetation classification applicable to it under Australian Standard 3959 Construction of Buildings in Bushfire Prone Areas. The BAL must be determined in order to specify the method construction required under the standard for the building. The BAL for this site was determined as follows;

AS3959 Clauses	Comments
<u>Fire Danger Index - Table 2.1</u> This table determines set regional values for the relevant fire danger.	Douglas Shire is in Far North Queensland therefore an FDI of 40 applies to this site.
<u>Vegetation Classification Clause 2.2.3 – Table 2.3</u> groups the vegetation type in classifications. Figure 2.4 of the standard then provides a summary of the types of typical vegetation applicable to Australia in bushfire prone areas.	The site assessment revealed some rainforest and forest species which are classified as Group F and A vegetation.
<u>Distance to classified vegetation Clause 2.2.4</u> – This is the distance measured from the wall of the proposed building to the edge of the vegetation taken from four directions.	The closest prominent vegetation surrounding the proposed shed is rainforest which is exempt under the NCC in Queensland. The other surrounding vegetation is Forest which is >28m away from the proposed shed location at the rear of the allotment/western side.
<u>Effective Slope of the land under the classified vegetation Clause 2.2.5</u> – The slope of the ground under the vegetation that poses a fire threat is assessed under this clause along with whether it is upslope or downslope in relation to the site in accordance with Figure 2.3.	The slope of the land is considered upslope from the prominent fire risk at the rear of the allotment.

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Given the location to the prominent vegetation which is a minimum of >28m from the she location and existing fire breaks such as road reserves and other cleared allotments in the area that further reduce any risk from a natural bushfire, **the bushfire attack level is considered to be BAL 12.5.**



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Once the BAL for the site has been determined specific construction requirements are applicable subject to the relevant sections of AS 3959. A list of these requirements is provided below, this list is not completely exhaustive, and it is recommended that the designer refer to Section 5 of AS 3959.

Construction Sections	Specific Requirements
BAL – 12.5 Refer to Table 3.1	<p>Sections 3 and 5 applicable;</p> <ul style="list-style-type: none">• Gaps between doors and door jambs, and thresholds must be 3mm or less, or draught excluders are to be provided.• Exposed components of external walls that are less than 400mm from the ground or above decks must be clad in non-combustible material, bushfire resistant timber or fibre cement a minimum of 6mm thick.• All joints in the external cladding must be covered sealed or overlapped to prevent gaps >3mm.• Windows with openable portions are to be screened with corrosion resistant metal flyscreens with a maximum aperture of 2mm. Window frames must be metal and glazing must be a minimum of Grade A safety glass. Alternatively bushfire shutters can be fixed to the building and complying with Clause 3.7.• Side hung external doors must be either solid core, minimum of 35mm thick, hollow core with a non-combustible kick plate up to 400mm above the threshold or hollow core and fitted with a metal screen as with the windows.• Where any part of the door frame is within 400mm of the ground or decks, the frame must be constructed of timber with a density > 650kg/m³ or non-combustible construction.• Sliding doors must have metal frames and any glazing incorporated in the frame must be a minimum of Grade A safety glass.• Roof ventilation openings must be fitted with ember guards.• Sheet roofs are to be fully sarked (covering the entire roof area, over ridges and hips). Gaps at roof edges >3mm are to be sealed with mineral wool or other non-combustible material. This includes at valleys and box gutters.• Eaves are to be sealed, and ventilated eaves must be protected with ember guards. Alternatively, gutter guards with a maximum aperture of 2mm may be used.• Decking, stair treads and landings must be made from timber with a density > 650kg/m³.• Above ground exposed water and gas supply pipes must be metal.

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TABLE 3.1**BUSHFIRE ATTACK LEVELS AND CORRESPONDING SECTIONS FOR
SPECIFIC CONSTRUCTION REQUIREMENTS**

Bushfire Attack Level (BAL)	Classified vegetation within 100 m of the site and heat flux exposure thresholds	Description of predicted bushfire attack and levels of exposure	Construction Section
BAL—LOW	See Clause 2.2.3.2	There is insufficient risk to warrant specific construction requirements	4
BAL—12.5	$\leq 12.5 \text{ kW/m}^2$	Ember attack	3 and 5
BAL—19	$> 12.5 \text{ kW/m}^2$ $\leq 19 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 and 6
BAL—29	$> 19 \text{ kW/m}^2$ $\leq 29 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 and 7
BAL—40	$> 29 \text{ kW/m}^2$ $\leq 40 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux with the increased likelihood of direct contact with flames	3 and 8
BAL—FZ	$> 40 \text{ kW/m}^2$	Direct exposure to flames from fire front in addition to heat flux and ember attack	3 and 9

The assessment of the Bushfire Attack Level for this is based on the vegetation classification and distances measured at the time of assessment. **In the future the distance to the predominant vegetation will need to be maintained in order for the BAL applicable to remain unchanged for the life of the building.**

Should you require any further information or wish to discuss the assessment in more details, please contact me on 0437127724 or by email aaron@bakerbuildingcert.com.au.

Kind Regards,
Prepared by Aaron Sweeney A1215391



Baker Building Certification.