

Request to change an existing approval template

(Sustainable Planning Act 2009 version 1.1 effective March 2010)

RECEIVED
6 JUNE 2012

This template may be used for giving a written notice asking the responsible entity to make a permissible change to a development approval under section 369 of the *Sustainable Planning Act 2009* (SPA). It should be noted that if the responsible entity for the request has a form for the request, the request must be made using that form.

This template must be lodged with the following entity (the responsible entity) as applicable:

- if the change is to a condition imposed by a Minister under chapter 6, part 11, division 1 of SPA the template must be lodged with the Minister that imposed the condition
- if the approval was given by a Minister under chapter 6, part 11, division 2 of SPA the template must be lodged with the Minister that gave the approval
- if the change is to a condition of the approval imposed by a concurrence agency the template must be lodged with the concurrence agency
- if the approval was given by the Planning and Environment Court the template must be lodged with the Planning and Environment Court
- in all other cases the template must be lodged with the assessment manager for the original development application.

Attach extra pages if there is insufficient space on this template. Terms used in this template having the meaning given in the *Sustainable Planning Act 2009*.

1. Who is making the request?	
Name/s (individual or company name in full)	Mr & Mrs Gary & Helen Hahn
For companies, contact name	
Postal address	PO Box 809 PORT DOUGLAS Qld 4877
Contact phone number	0417 995503
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
e-mail address (non-mandatory)	ghhahn @bigpond.com



2. What are the details of the existing approval sought to be changed?

Type of approval	Identification number	Date decision notice or negotiated decision notice issued	Name of entity that issued the approval or imposed the condition sought to be changed
<input checked="" type="checkbox"/> Development permit	MCU3B 017/05	24/1/06 10/3/10	DOUGLAS SHIRE COUNCIL CAIRNS REGIONAL COUNCIL
<input type="checkbox"/> Preliminary approval			

3. Is the approval for a mobile and temporary environmentally relevant activity (ERA)?

- No
 Yes—complete table A and then go to question 5

Table A—name of each local government area in which the mobile and temporary ERA is proposed to operate/ is operating

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4. Location of the premises (complete table B and/or table C as applicable. Identify each lot in a separate row)

Table B—street address/lot for the premises or street address/lot on plan for the land adjoining or adjacent to the premises

- street address/lot on the plan
 street address/lot on plan for the land adjoining or adjacent to the premises (appropriate for development in water e.g. jetty, pontoon)

Street address				Lot on plan description		Local government area (e.g. Logan, Cairns)
Unit no.	Street no.	Street name and official suburb/locality name	Post-code	Lot no.	Plan type and plan no.	
	18	Ocean View Rd Killaloe	4877	16	745096	Parish of Victory County of Solander

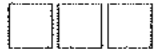


Table C—premises coordinates (appropriate for development in remote areas, over part of a lot or in water e.g. channel dredging in Moreton Bay)						
Coordinates (note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> Other	

5. Details of the proposed change

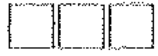
Design of house has reduced from 3 levels 306m² footprint to 1 level 204m² footprint located within the confines of the original house that Development Application was approved for.

6. Is owner's consent required for this request? (refer to notes at the end of this form for more information)

- No
 Yes—complete either table D or table E as applicable

Table D	
Name of owner of the land	Mr & Mrs Gary & Helen Hahn
I, the above-mentioned owner of the land, consent to the making of this request.	
Signature of owner of the land	
Date	

Table E	
Name of owner of the land	
<input type="checkbox"/> The owner's written consent is attached	



Question 6:

- Under section 371 of the Sustainable Planning Act 2009, if the person making the request is not the owner of the land to which the approval relates, the request must be accompanied by the owner's consent.
- However, owner's consent is not required if the approval:
 - relates to land that was acquisition land to which section 263(2)(d) of the Sustainable Planning Act 2009 applied when the application for the approval was made
 - is for building work or operational work for the supply of community infrastructure on land designated for the community infrastructure, or
 - the consent of the owner would not be required under section 263(1) of the Sustainable Planning Act 2009 if a development application were made for the requested change
- Also, owners' consent is not required if the responsible entity is satisfied that:
 - the number of owners of the land make it impracticable to obtain owners' consent, and the requested change does not materially affect the owners' land, or
 - having regard to the nature of the proposed change, the owner has unreasonably withheld consent and the requested change does not materially affect the owner's land.

Question 7:

- Section 370(3) and (4) of the Sustainable Planning Act 2009 requires that if an application for the development approval were made at the time of making this request and evidence under section 264(1) of the Sustainable Planning Act 2009 would be required to support the application, this request must be accompanied by the written agreement of the chief executive from whom evidence would be required under section 264(1). (Section 264 of the Sustainable Planning Act 2009 provides that if a development involves a State resource, a regulation may require the application to be supported by certain evidence prescribed under the regulation. Schedule 14 of the Sustainable Planning Regulation 2009 prescribes the State resources for which evidence is required to be given, and the evidence required, to support the application.)

Question 9:

- Section 372 of the Sustainable Planning Act 2009 requires that a copy of the request be given to:
 - the assessment manager for the original application, if the request is made to a concurrence agency, the Minister, or the court
 - any concurrence agencies for the original application, if the request is made to the assessment manager for the original application, the Minister or the court
 - any other entity prescribed by a regulation.
- However, a copy of the request is not required to be given to an entity that has given a pre-request response notice for the request.

OFFICE USE ONLY

Date received		Reference numbers	
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1 June 2012
G R & H B Hahn
PO Box 809
Port Douglas Qld 4877

Cairns Regional Council
64-66 Front St
Mossman Qld 4873

Re: Application for permit to damage protected vegetation on RP 74506 Lot 16 18R Ocean View Rd Killaloe Qld

We would like to request permission to remove trees as indicated in the following table.

a) Reasons for removing vegetation;

- i) Trees marked 1 to 17 are a threat to the house in the event of a cyclone. They are also considered a fire hazard as they are located close to the house.
- ii) Trees marked 18 to 55 are Black Wattle and pose a threat to access via the driveway.
- iii) Areas marked 14 and 15 are mainly tree regrowth and small trees.

b) A copy of the site plan drawing ref: Contour Plan showing building footprint and tree locations.

c)

No.	Circum cm	Description	No.	Circum cm	Description
1	70	Black Wattle	13	85	Black Wattle
2	100	Unknown	14	65	Black Wattle
3	120	Unknown	15	120	Black Wattle
4	150	Bloodwood	16	110	Unknown
5	90	Unknown	17	70	Unknown
6	65	Unknown	18	80	Black Wattle
7	90	Unknown	19	90	Black Wattle
8	155	Bloodwood	20	80	Black Wattle
9	115	Black Wattle	21	40	Black Wattle
10	70	Black Wattle	22	55	Black Wattle
11	130	Unknown	14	< 50	Regrowth already removed
12	75	Black Wattle	15	< 50	Regrowth proposed to be cleared

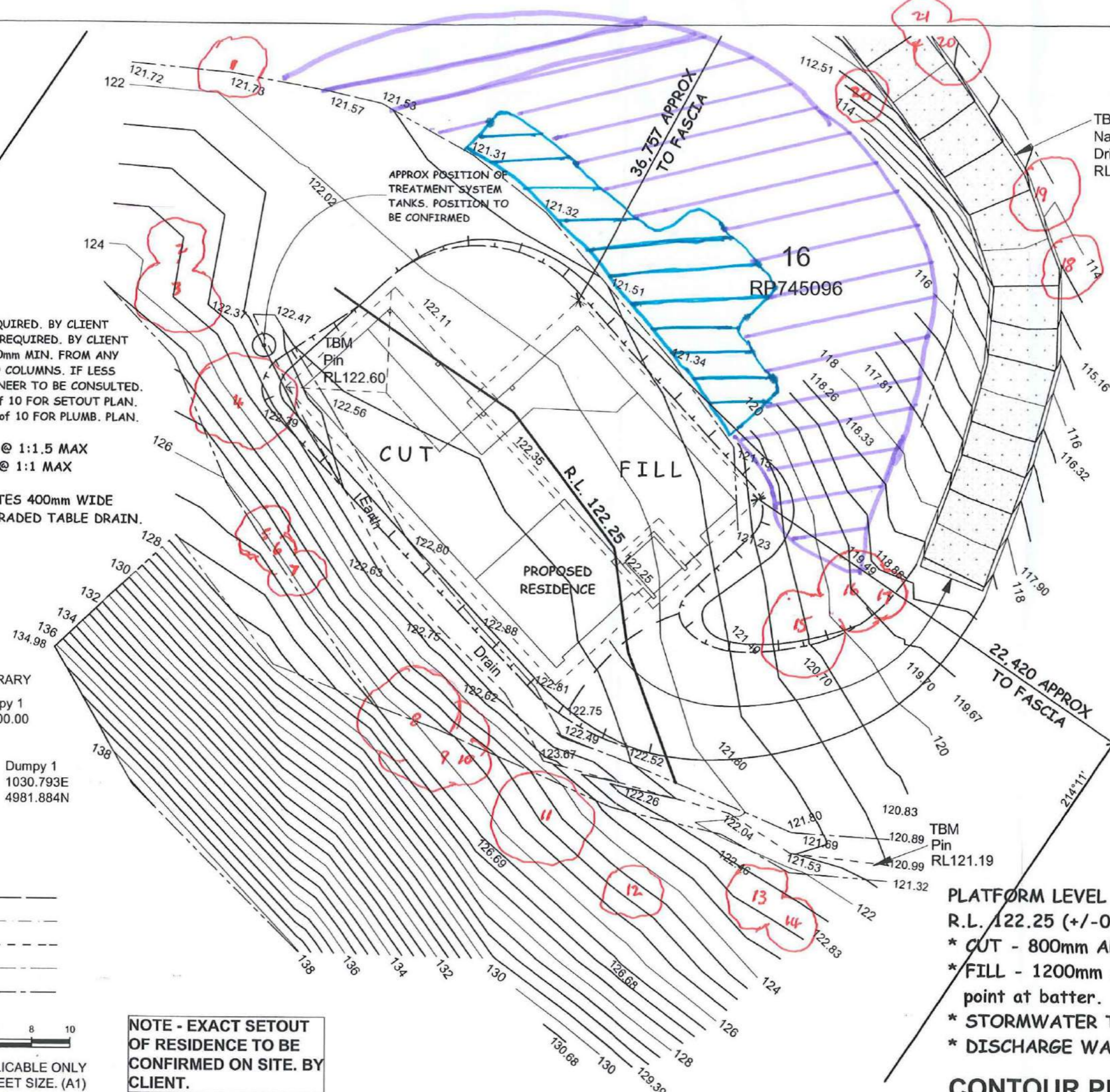
d) We will be planting with native vegetation onsite.

e) Trees will be removed by chainsaw and chipper.

Yours Sincerely



Gary Hahn



NOTES -

- ANY RETAINING REQUIRED. BY CLIENT
- ANY TREE REMOVAL REQUIRED. BY CLIENT
- POOLS MUST BE 2000mm MIN. FROM ANY SLAB EDGE OR PATIO COLUMNS. IF LESS THAN 2000mm, ENGINEER TO BE CONSULTED.
- REFER TO SHEET 9 of 10 FOR SETOUT PLAN.
- REFER TO SHEET 10 of 10 FOR PLUMB. PLAN.

- * FILL BATTER @ 1:1.5 MAX
- * CUT BATTER @ 1:1 MAX

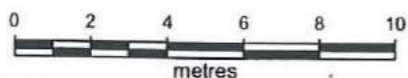
→ → INTDICATIONS 400mm WIDE
x 75mm DEEP GRADED TABLE DRAIN.

NOTES

Level Datum: ARBITRARY
 Origin of Levels: Dumpy 1
 RL100.00
 Meridian: IS175106
 Origin of Coordinates: Dumpy 1
 1030.793E
 4981.884N
 Contour Interval: 0.5
 Index: 2.0

LEGEND

- Crown of Bitumen ———
- Electricity A/G - - - - -
- Open Unlined Drain - - - - -
- Toe of Bank ———
- Top of Bank - - - - -



SCALE 1 : 200 IS APPLICABLE ONLY
TO THE ORIGINAL SHEET SIZE. (A1)

**NOTE - EXACT SETOUT
OF RESIDENCE TO BE
CONFIRMED ON SITE. BY
CLIENT.**

- PLATFORM LEVEL APPROX -
R.L. 122.25 (+/-0.05)
- * CUT - 800mm APPROX
- * FILL - 1200mm APPROX at worse
point at batter.
- * STORMWATER TO FALL ON SITE.
- * DISCHARGE WASTE TO SEPTIC.

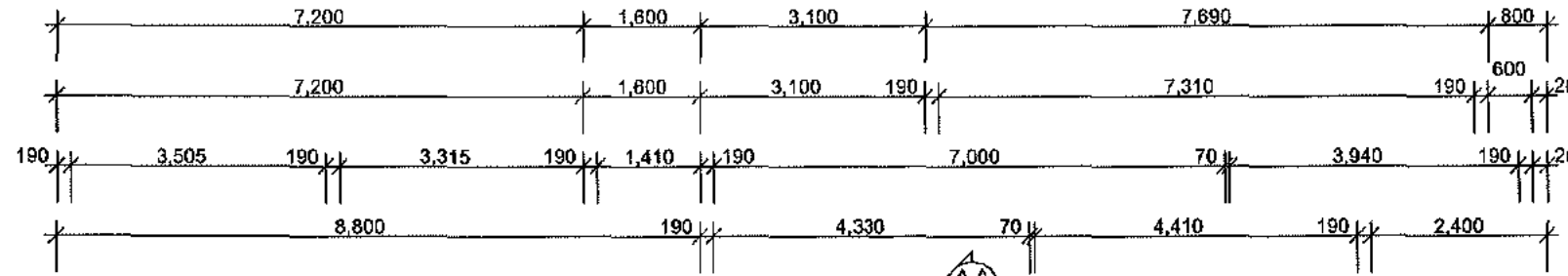
CONTOUR PLAN WIND-'C2'

Client:	G. and H. HAHN	Design:	OWNER DESIGN	Amendments:	
	LOT 16, OCEAN VIEW ROAD	Facade:	MODERN SKILLION	Drawn By:	S.C.
	PORT DOUGLAS	Inclusions:	PREMIUM	Date:	27/04/2012
	<small>N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. THIS DESIGN IS THE EXCLUSIVE PROPERTY OF NO HOMES Pty. Ltd.</small>			Job Number:	127NQ
ABN: 37110349892				Sheet Number:	1 of 10
BLN: 1058588					
Address: P. O. BOX 863,					
PL. DOUGLAS Qld. 4877					
Phone: (07)40985518					
Fax: (07)40985512					

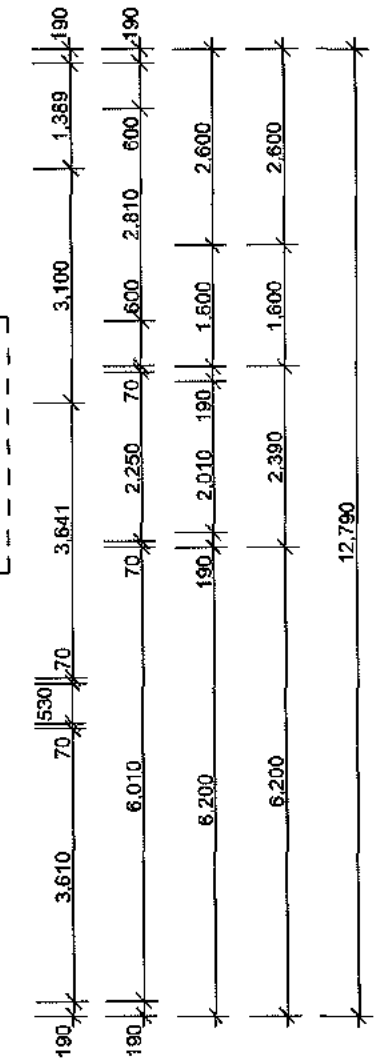
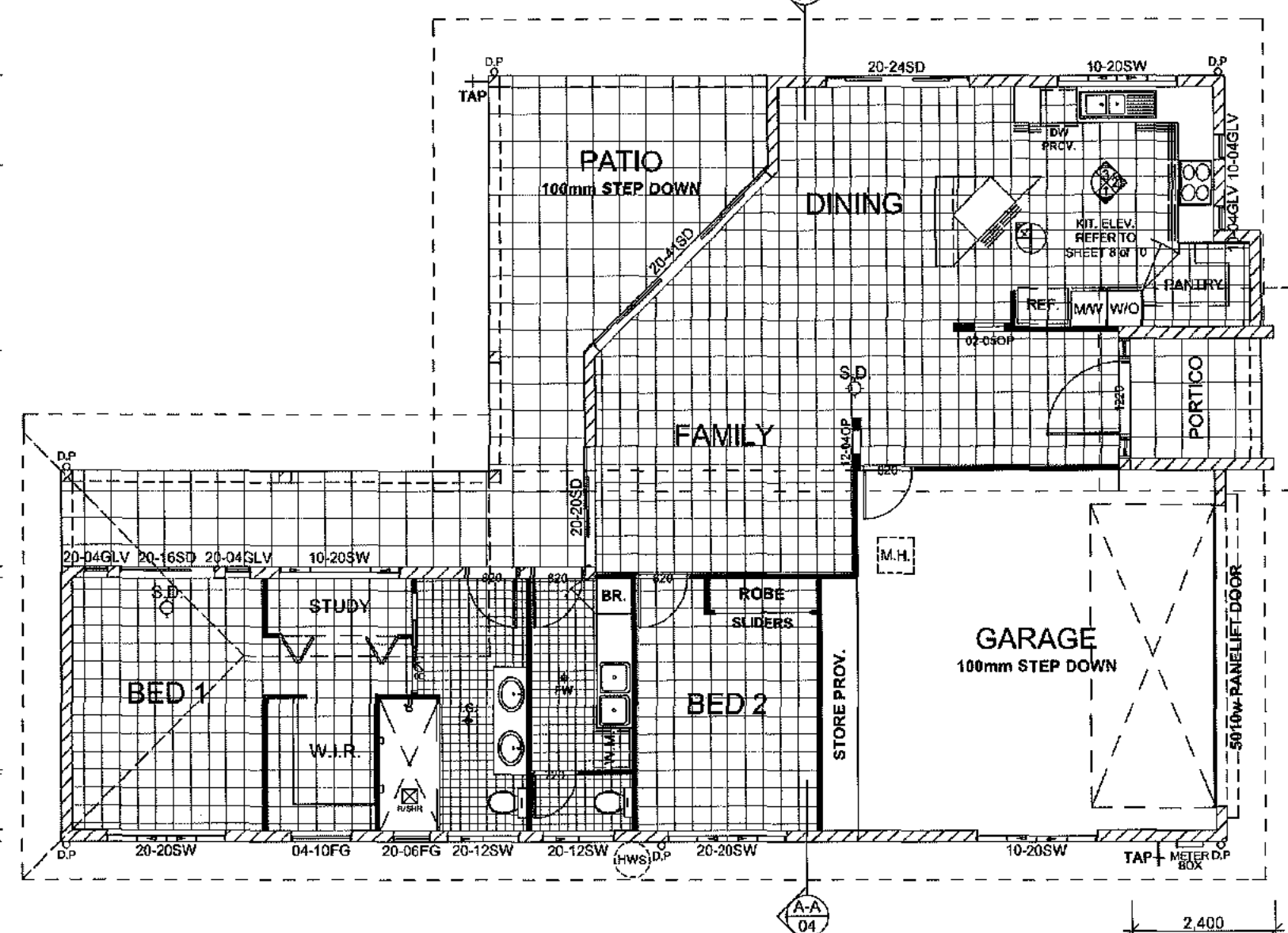
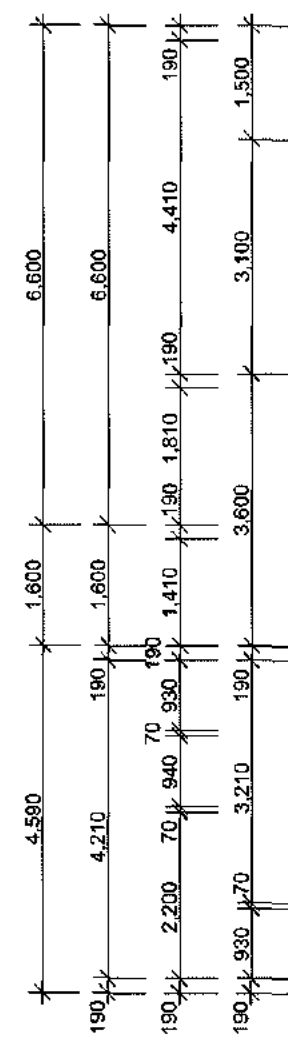




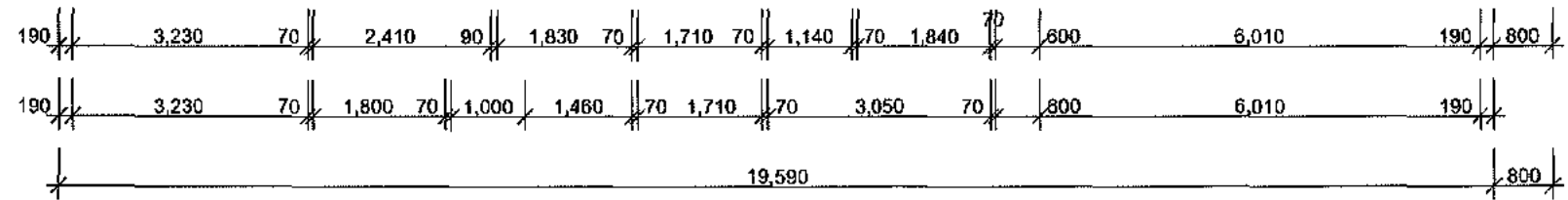
ELEVATION KEY



ENERGY EFFICIENCY NOTES:
 : ALL TAPWARE & SHOWERS TO BE 3 STAR min.
 : ALL TOILETS TO BE 4 STAR min.
 : ELECTRIC HOT WATER SYSTEM WITH HEAT PUMP TO BE INSTALLED



FLOOR AREAS
 LIVING - 128.09
 GARAGE - 38.90
 PATIO - 34.09
 PORTICO - 4.42
 TOTAL - 205.50m²
 22.11 SQUARES



GENERAL NOTES :
 : Solar Block 1 to all alum. framed glass windows and doors.
 : Dishwasher prov. with SPP and cold water plumb.
 : Lift off hinges to wc.
 : Mechanical exhaust to wc with no external opening.
 : Niches - 900H base with a 2100H head U.N.O.
 : Hampers and Openings - 2100H head U.N.O.
 : Bulkheads - 2100H U.N.O.

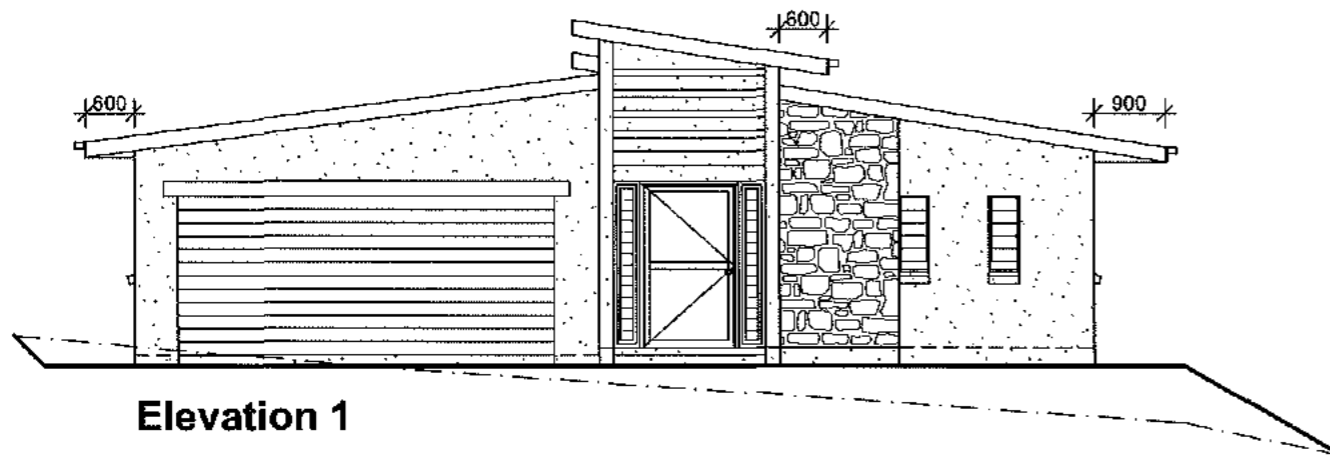


ABN: 37110349892
 BLN: 1058588
 Address: P.O. BOX 863,
 Pt. DOUGLAS Qld. 4877
 Phone: (07)40985518
 Fax: (07)40985512

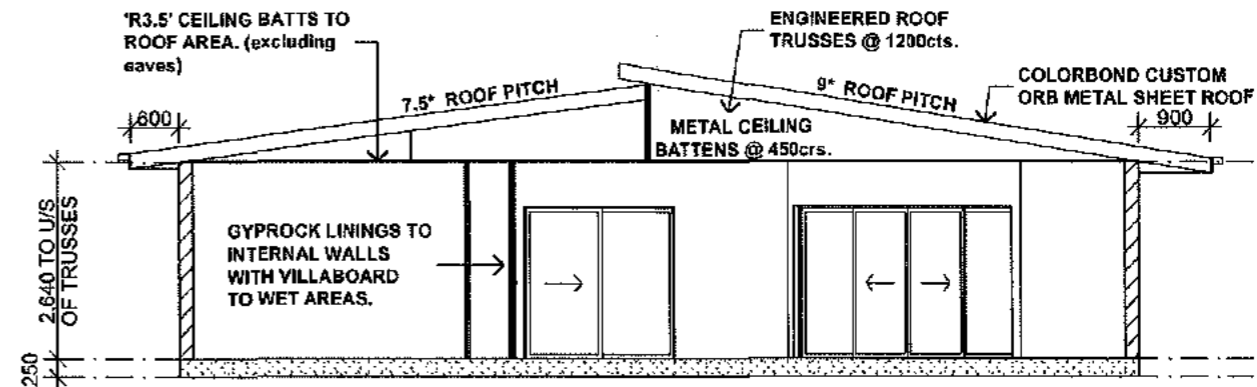
FLOOR PLAN WIND-'C2'
 N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF NQ HOMES Pty. Ltd.

Client: G. and H. HAHN
 LOT 16, OCEAN VIEW ROAD
 PORT DOUGLAS

Design:	OWNER DESIGN	Drawn By:	S.C.	Amendments:
Facade:	MODERN SKILLION	Date:	27/04/2012	Job Number:
Inclusions:	PREMIUM	Scale:	1 : 100	Sheet Number:
				127NQ 2 of 10



Elevation 1

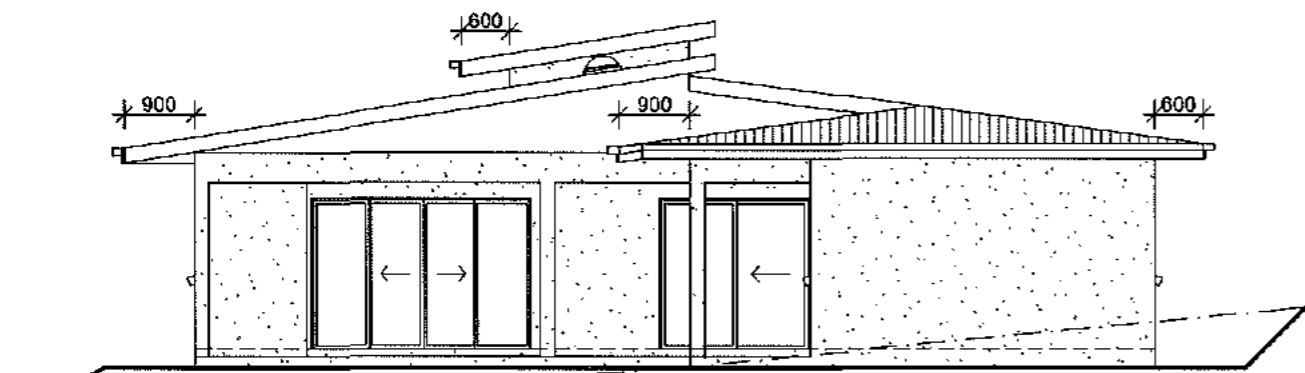


Section A-A BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'P' CLASS SITE AND WIND-'C2' WIND RATING.

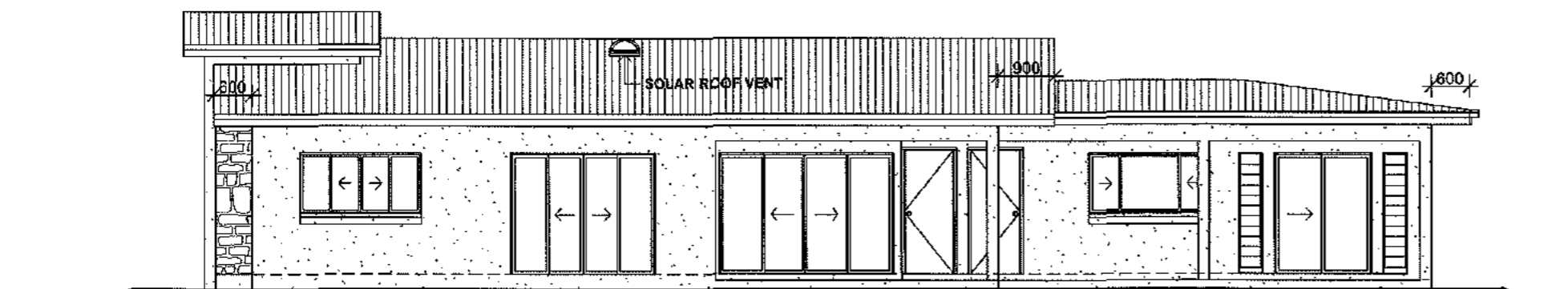
ALL STRUCTURAL TIMBER HAS BEEN TREATED IN ACCORDANCE WITH THE AS3600.1 FOR TERMITE PROTECTION.



Elevation 2



Elevation 3



Elevation 4



ABN: 37110349892
 BLN: 1058588
 Address: P.O. BOX 863,
 Pt. DOUGLAS Qld. 4877
 Phone: (07)40985518
 Fax: (07)40985512

ELEVATIONS

WIND-'C2'

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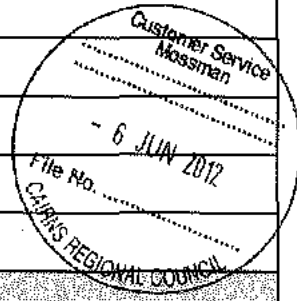
Design:	OWNER DESIGN	Drawn By:	S.C.	Amendments:	
Facade:	MODERN SKILLION	Date:	27/04/2012	Job Number:	127NQ
Inclusions:	PREMIUM	Scale:	1 : 100	Sheet Number:	3 of 10

CAIRNS REGIONAL COUNCIL

DEVELOPMENT ASSESSMENT – RECEIPT SHEET –2011/2012

APPLICATION NO: _____ DATE: 6/6/12 RECEIPT NO: 5903346
 APPLICANT: Gary & Helen Hahn CONTACT NAME: Gary Hahn
 ADDRESS OF APPLICANT: PO Box 809, Port Douglas Qld 4877
 PHONE: 07 995 503 EMAIL: ghahn@bigpond.com
 SITE LOCATION: 18 Ocean View Rd Killaloe
 LOT & PLAN: L16 on RP745096

RECEIPT CODE	TYPE OF APPLICATION	AMOUNT PAID
133	• Planning and Development Certificates	
134	• Consideration of Alternative Acceptable Measure / Report to Council • Prelodgement Enquiry / Report to Council / Compliance Check for Self Assessable Development	
314	• Application for Material Change of Use and Preliminary Approvals for Building Work – Code and Impact. • Extension of Currency Period / Reconsider Lapsed Approval for Material Change of Use • Request for Superseded Scheme application • Signage under DSC Scheme (Op Works)	
130	• Application for Reconfiguring a Lot • Extension of Currency Period / Reconsider Lapsed Approval for Reconfiguring a Lot	
314/130	Combined application (Split fee: Code: 314 for MCU and Code: 130 for ROL)	
135	Modification or Cancellation of Application or Consent Order	255. ⁰⁰
395	Landscape Plan Assessments	
492	• Vegetation Protection • Permit to Damage Protected Vegetation	
141	Applications for Operational Works/Re-assessment (Excludes Signage – DSC Scheme)	
302	Applications for Engineering Work on the Road Reserve	
142	Construction Monitoring Fee, Works/Final Works Inspections, Re-inspections	
513	Bonds for Outstanding Works, Construction Security, Defects Liability, EPS	
138	Endorsement of Survey Plans	
491	Extractive Industry Permits/ Renewal	
355	Tonnage charge	
SALES		
129	Public Notification Signs	
125	Sale of Planning Documents (Including Hard Copies of CairnsPlan / Douglas Shire Planning Scheme)	
419	• CDs of Cairns Plan / Douglas Shire Planning Scheme and superseded schemes • CDs - copy of application • C-Data Manipulation • CD supplied to customer <input type="checkbox"/>	
314	Photocopying,	
134	Letter of Enquiry to determine land use history	



RIN 5903346