

31 July 2015

Douglas Shire Council
64-66 Front street
Mossman. Qld. 4873

For the attention of Neil Beck,

Dear Sir,

Based on our discussions on site at 332R Mowbray River Rd, I would like to formally request amendments to decision notice reference number 8/30/121(3964031).

Thank you again for meeting with me on site twice with Anthony Blood and once with Peter Dutailis. After your recommendation to engage Peter and his on site advise and discussions with you, it was requested that I ask for an amendment to some of the conditions that all party's agree to be not reflecting the needs of the location and project request.

Condition 10. Plan of Drainage Works

No local drainage study should be required as it is not proposed to alter the existing drainage regime. It is estimated that a very small surface area of driveway will naturally drain, as it has done for the past 20 + years, not impacting on the lower already established lot. Discussions between Peter Dutailis and Neil Beck have indicated a desire for some large drainage rocks to be added to the end of the open drain on one corner to ensure correct drainage into the natural formation of the water ways. Concreting a spoon drain was discussed and Peters advise was that this would increase velocity and allow for water to possible rutt away at the natural lay of the land, it could also course water to run under the concrete changing the flow of the water and the existing system that has proved to work very well for 20+ years. I ask for an amendment as the proposed reconfiguration of the lot will not alter or interfere with the existing stormwater drainage and it will not increase flows, concentration or diversion of flows.

Condition 12. Access to Hatchet or battleaxe lots

After inspecting several other properties driveways in the area, Neil Beck, Anthony Blood and Peter Dutailis agree that this condition is neither reasonable or relevant to the proposed development. I believe that Cairns Council lacked this insight as they did not perform a site inspection prior to the approval. Anthony did address councils stand via email stating it was not a priority for council.

Condition 15. Geotechnical Report

The nature of the earthworks required is going to be little to none. It is not sufficient as to require a geotechnical assessment. The proposed building pad is long standing(20+ years) and stable.

Below are councils comments as related to me via email by Anthony Blood.

In relation to the geo technical report, the proposed building envelope is flat and stable so this condition is not a priority for Council.

I understand the need to formal amend rather than have comments via email correspondence. I really appreciate your efforts in reviewing this information and it will be supported by a letter from Peter Dutailis (senior Engineer with RECS consulting Engineers .) I have also supplied council with a detailed survey showing all gullies and natural drainage features, contours and existing house pad. Drawing number 32255/001 dated 12 Sept 2008.

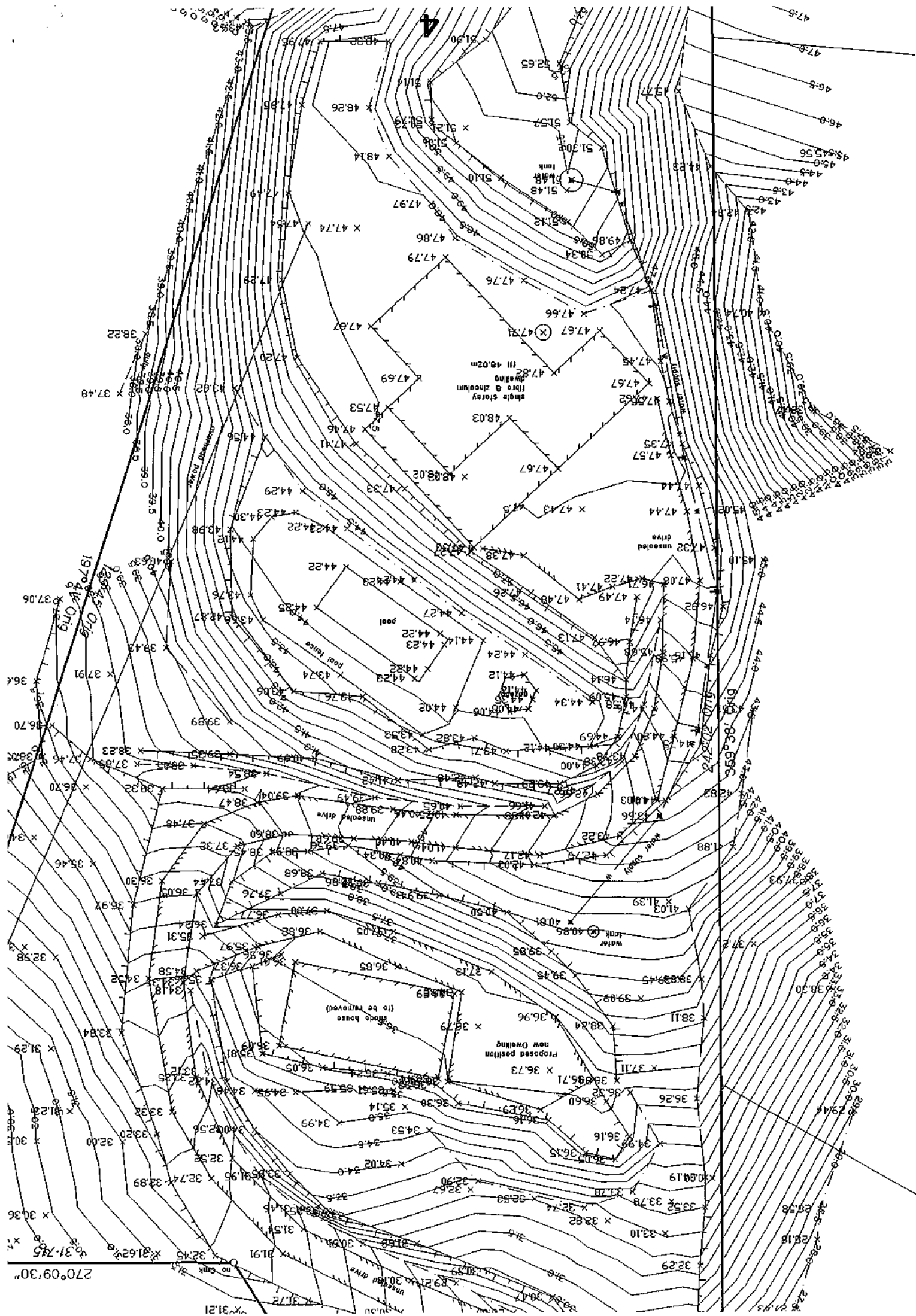
While you are addressing these amendments, may I ask that condition 17 also be amended. Although I have an email from yourself stating that council will be happy with ergons recommendations with the best solution for the new power supply, I feel it would be beneficial to have all this information in the one document.

In regards to condition 5 and 7, it has also been suggested by Peter Dutailis that a " right of way through lot 1 to benefit lot 2 would be sufficient." Would you be able to let me know your thoughts on this being amended.

Again, I wish to thank you for taking the time to address these concerns and look forward to your reply.



Kind Regards
Jodie Krull nee. English





PTY LTD

Our ref: 74-2015/JK 74-2015

4 August, 2015

Jodie Krull

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Subject Engineer's Inspection Report

Access Road on Lot 4 RP865070 at 332R Mowbray River Road, Mowbray.

We, being "Professional Engineers", advise we attended the site on Thursday 16 July, 2015 to inspect, assess and report on the condition of:

- the property access and associated drainage; and
- Slope stability associated with a proposed building pad

Attendance to the site was at the request of the property owner Ms Jodie Krull in preparation for a response to conditions of approval for development application on the site.

Observations

- The property access road from Mowbray River Road is sealed and shared with adjoining property owner for a length of approximately 60 metres. From this point to the proposed new dwelling site the access road is a gravel formation and has been constructed in side cut for a length of approximately 40 metres towards the building pad.
- Access to the new dwelling site will need to traverse the table drain with a small stormwater drainage structure. The size of the structure would be more dependent on its function to self-clean than stormwater capacity and flow.
- It is understood that the road has been in use since the development of the area over 40 years.
- From the proposed new dwelling pad for a length of approximately 20m, the internal access road is rising at a grade up to 20.0% and has a short section of rigid concrete pavement towards the existing dwelling on the Lot.
- A formed 'whoa boy' is located along the access road for the control of erosion and surface stormwater.
- The internal access road other than the sealed and rigid sections described above has been constructed on weathered rock subgrade and a layer of manufactured pavement material (type 2.3 or similar) has been constructed as an all-weather road surface.
- The road formation includes formed table drains which are dispersed along cut/fill lines.

- There are minor signs of table drain scour due to wash of loose material from periodic road maintenance activity of the road surfacing. The underlying material is weathered rock and resistant to deep scour.

Findings

Access Road

It is our view that the Access Road is consistent with a number of similar lots within the locality and is suitable for use as a private residential access road.

The road is surfaced with manufactured gravel (type 2.3 or similar) over firm subgrade and it is understood to be regularly maintained by local plant operators.

The road formation has adequate shape for stormwater drainage and is collected in table drains and dispersed towards natural drainage lines away from neighbouring properties.

At the access point to the proposed new dwelling a low level crossing of the table drain will need to be provided in accordance with FNQROC standards

The road will require periodic maintenance to preserve adequate drainage and road surface materials.

Site Stability

Preliminary slope assessment investigations indicate there are no apparent areas of instability on the site including the proposed building pad. There is no known deep excavation or embankments proposed for the development.

Earthworks Batter Design

Typical earthworks batter design values are summarised below and are recommended for :

Material Type	Maximum Batter Slope	Maximum Vertical Height Between Berms	Comments
Very low strength or stronger rock	1.5V:1H	4m	Include intermediate berms for drains as required

Site Drainage

The site generally drains towards natural drainage lines from the access road and landscape garden areas towards Mowbray River Road.

Stormwater flow is diverted around proposed the proposed new building area and is adequately serviced by existing drains. Any additional stormwater discharge points can be controlled in association with the plumbing and drainage for the new dwelling.

It is our view these matters discussed above impose no significant impediment to the proposed development of the site. I will be happy to discuss any concerns you have on the matter.

Yours sincerely



Peter Dutailis
Director
 MIE Aust, CPEng, NPER, RPEQ, MEIANZ