

5 February 2021

**Enquiries:** Jenny Elphinstone  
**Our Ref:** SITEX 2021\_3962/1 (Doc 994879)  
**Your Ref:** Austart: 517COO GMA: 20210484

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

Austart Homes Pty Ltd  
PO BOX 1077  
SMITHFIELD QLD 4878

Email [admin@austarthomes.com.au](mailto:admin@austarthomes.com.au)

Dear Sir / Madam

## EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 1 February 2021.

### Summary of Exempt Development

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Construct a Dwelling house within the mapped Flood Plain Assessment Overlay.

### Location details

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Street Address: 84 Cooya Beach Road Bonnie Doon  
Real Property Description: Lot 104 on SP285536  
Local Government Area: Douglas Shire Council

### Decision

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Council advises that an exemption certificate has been granted on 5 February 2021 for development as detailed in Attachment 1.

### Referral agencies

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Not Applicable

### Reasons for giving exemption certificate

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The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

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**When exemption certificate ceases to have effect**

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This exemption certificate does not lapse.

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**Other**

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Please quote Council's application number: SITEX 2021\_ 3962/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Jenny Elphinstone on telephone 07 4099 9444.

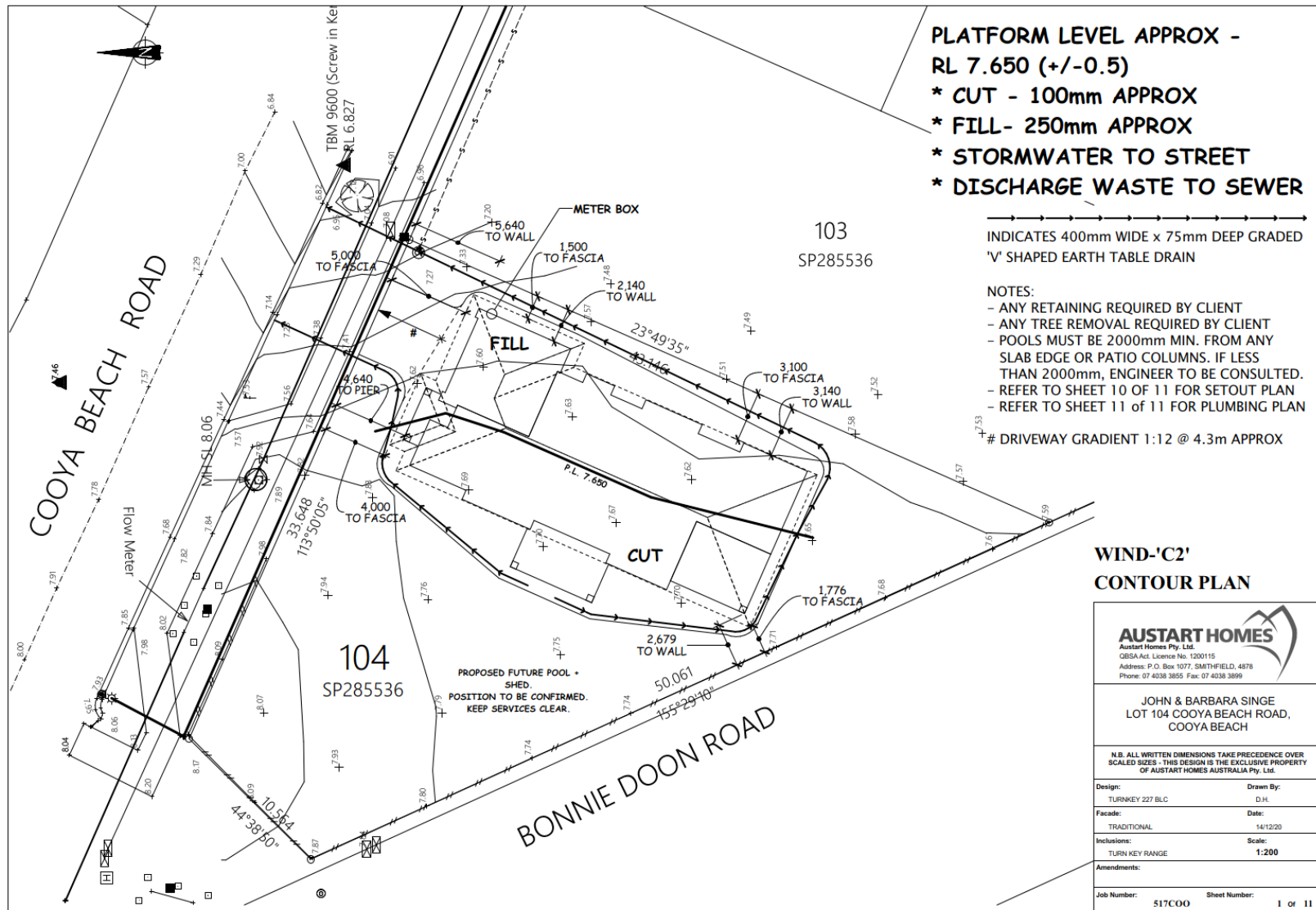
Yours faithfully



**For**  
**Paul Hoyer**  
**Manager Environment & Planning**

cc Emailed to GMA Certification Group Pty Ltd – [admincons@gmacert.com.au](mailto:admincons@gmacert.com.au)

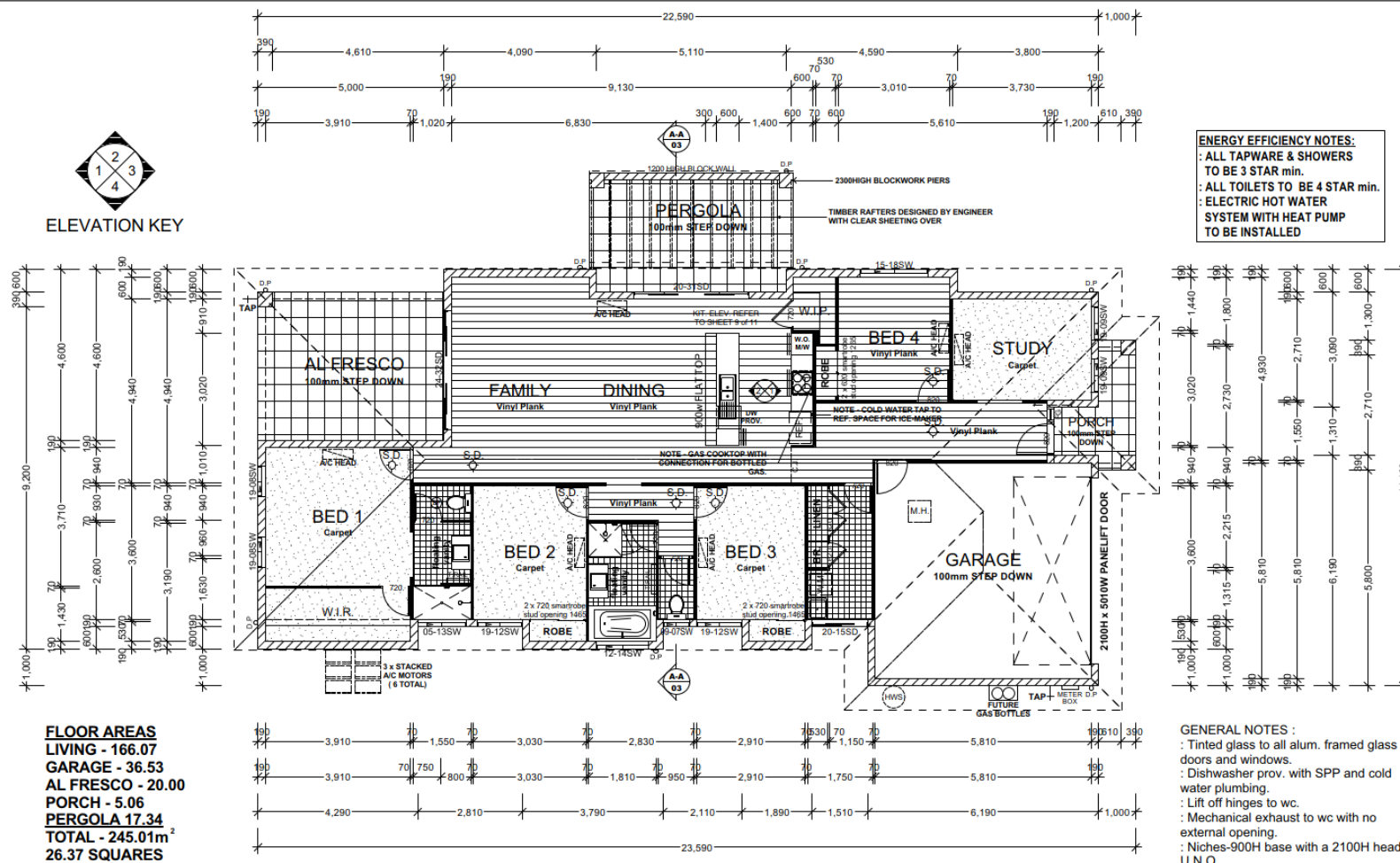
cc Emailed John And Barbara Singe - [Johnsinge101@gmail.com](mailto:Johnsinge101@gmail.com)



Attachment 1



ELEVATION KEY



**FLOOR AREAS**  
LIVING - 166.07  
GARAGE - 36.53  
AL FRESCO - 20.00  
PORCH - 5.06  
PERGOLA 17.34  
TOTAL - 245.01m<sup>2</sup>  
26.37 SQUARES

NOTE - Floating vanities. (Additional bracing and noggings will be required).

NOTE - ALL DIMENSIONS SHOWN ARE TO FRAME & BLOCKWORK, EXCLUDES GYPROCK

NOTE - ALL HOT & COLD WATER PIPING TO GO THOROUGH CEILING DOWN TO STUD WALLS, OTHER THAN PIPING FOR ISLAND BENCH. ALSO GAS PIPING (IF APPLICABLE) TO RUN THROUGH CEILING & STUD WALLS

**ENERGY EFFICIENCY NOTES:**  
: ALL TAPWARE & SHOWERS TO BE 3 STAR min.  
: ALL TOILETS TO BE 4 STAR min.  
: ELECTRIC HOT WATER SYSTEM WITH HEAT PUMP TO BE INSTALLED

**GENERAL NOTES :**  
: Tinted glass to all alum. framed glass doors and windows.  
: Dishwasher prov. with SPP and cold water plumbing.  
: Lift off hinges to wc.  
: Mechanical exhaust to wc with no external opening.  
: Niches-900H base with a 2100H head U.N.O.  
: Hampers and Openings - 2100H head U.N.O.  
: Bulkheads - 2100H U.N.O.



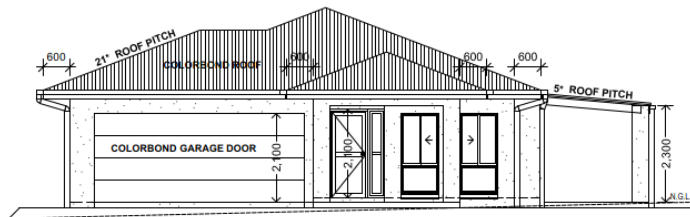
## FLOOR PLAN

JOHN & BARBARA SINGE  
LOT 104 COOYA BEACH ROAD, COOYA BEACH

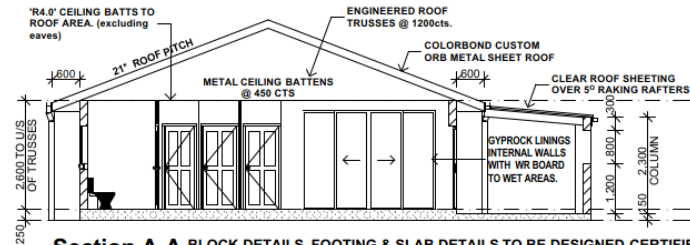
## WIND-'C2'

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd.

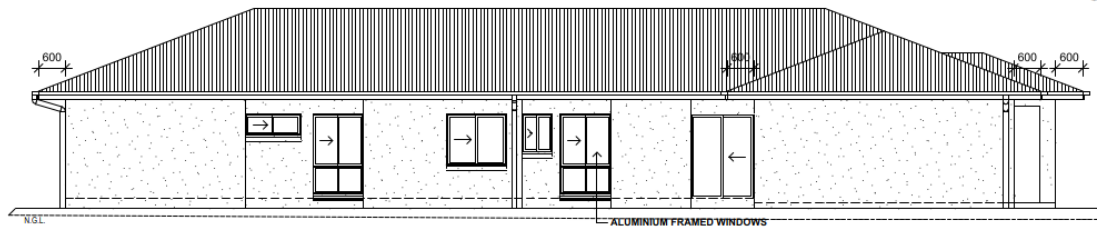
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|-------------|-----------------|-----------|----------|---------------|
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| Facade:     | TRADITIONAL     | Date:     | 14/12/20 | Job Number:   |
| Inclusions: | TURN KEY RANGE  | Scale:    | 1:100    | Sheet Number: |
|             |                 |           |          | 517COO        |
|             |                 |           |          | 2 of 11       |



**Elevation 1**

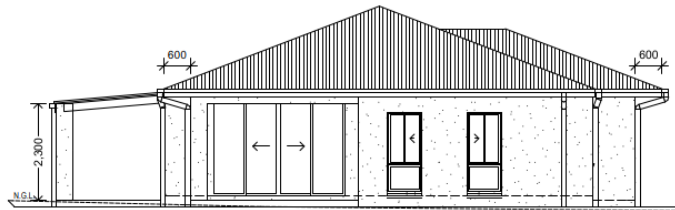


**Section A-A** BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'S' CLASS SITE AND WIND-'C2' WIND RATING.

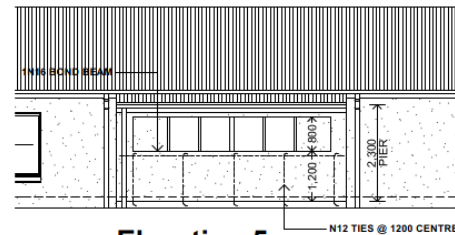


**Elevation 2**

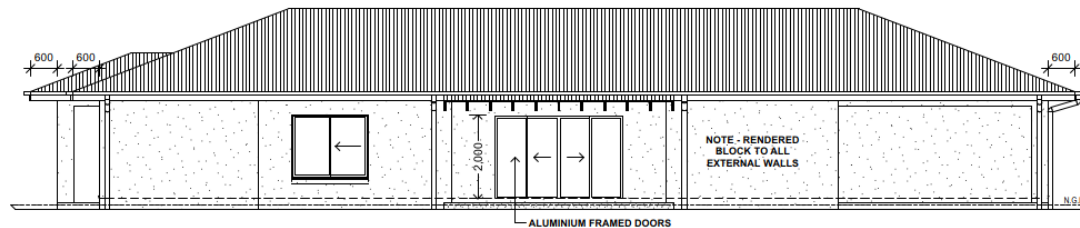
**NOTE:**  
FLYSCREENS TO ALL OPENING  
WINDOWS AND SLIDING GLASS DOORS,  
INCLUDES FRONT DOOR. (EXCLUDES  
GARAGE INTERNAL DOOR)



**Elevation 3**



**Elevation 5**



**Elevation 4**

## WIND-'C2' ELEVATIONS

**AUSTART HOMES**

Austart Homes Pty. Ltd.  
QBSA Act, Licence No. 1200115  
Address: P.O. Box 1077, SMITHFIELD, 4878  
Phone: 07 4038 3855 Fax: 07 4038 3899

JOHN & BARBARA SINGE  
LOT 104 COOYA BEACH ROAD,  
COOYA BEACH

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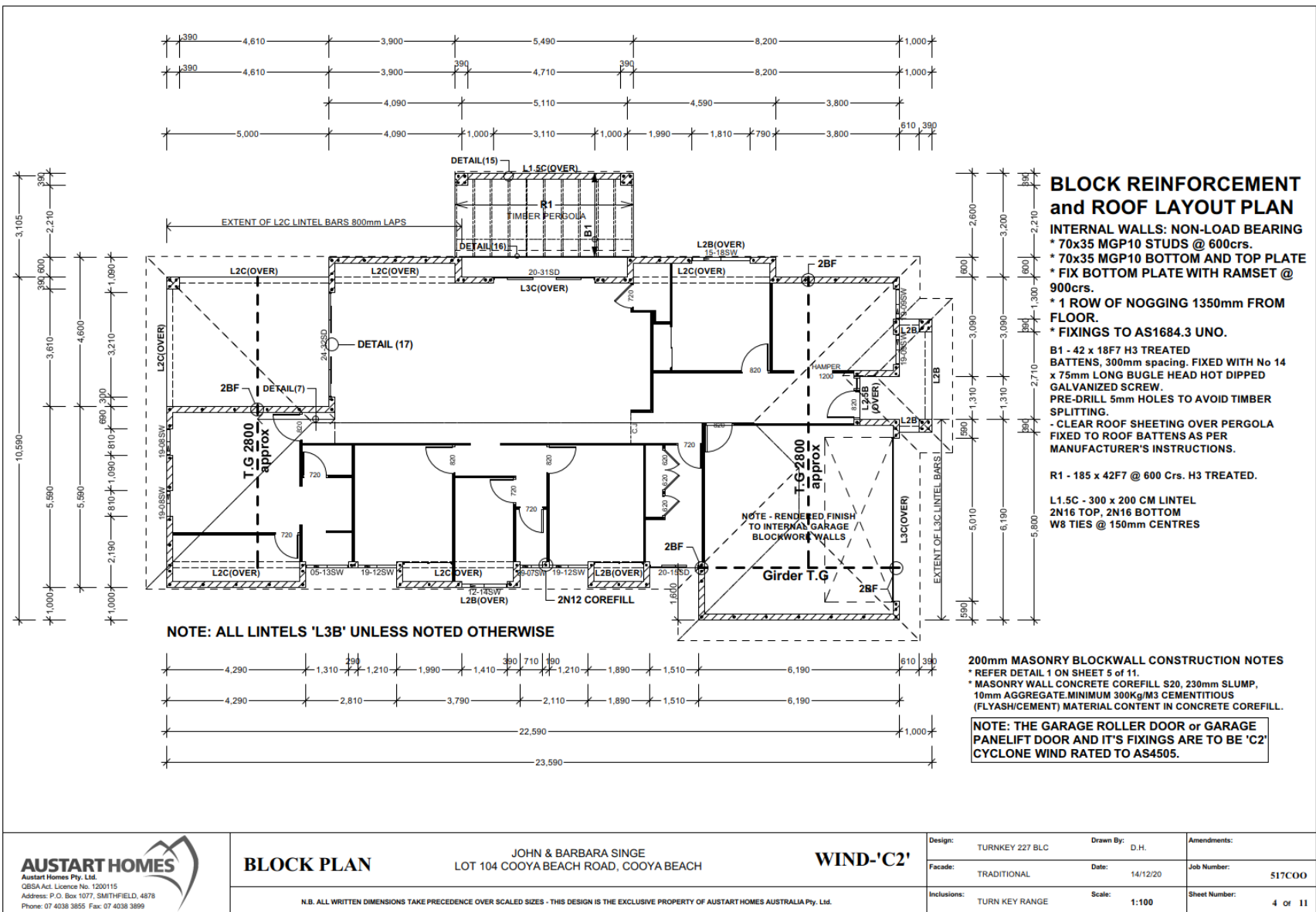
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Facade: TRADITIONAL Date: 14/12/20

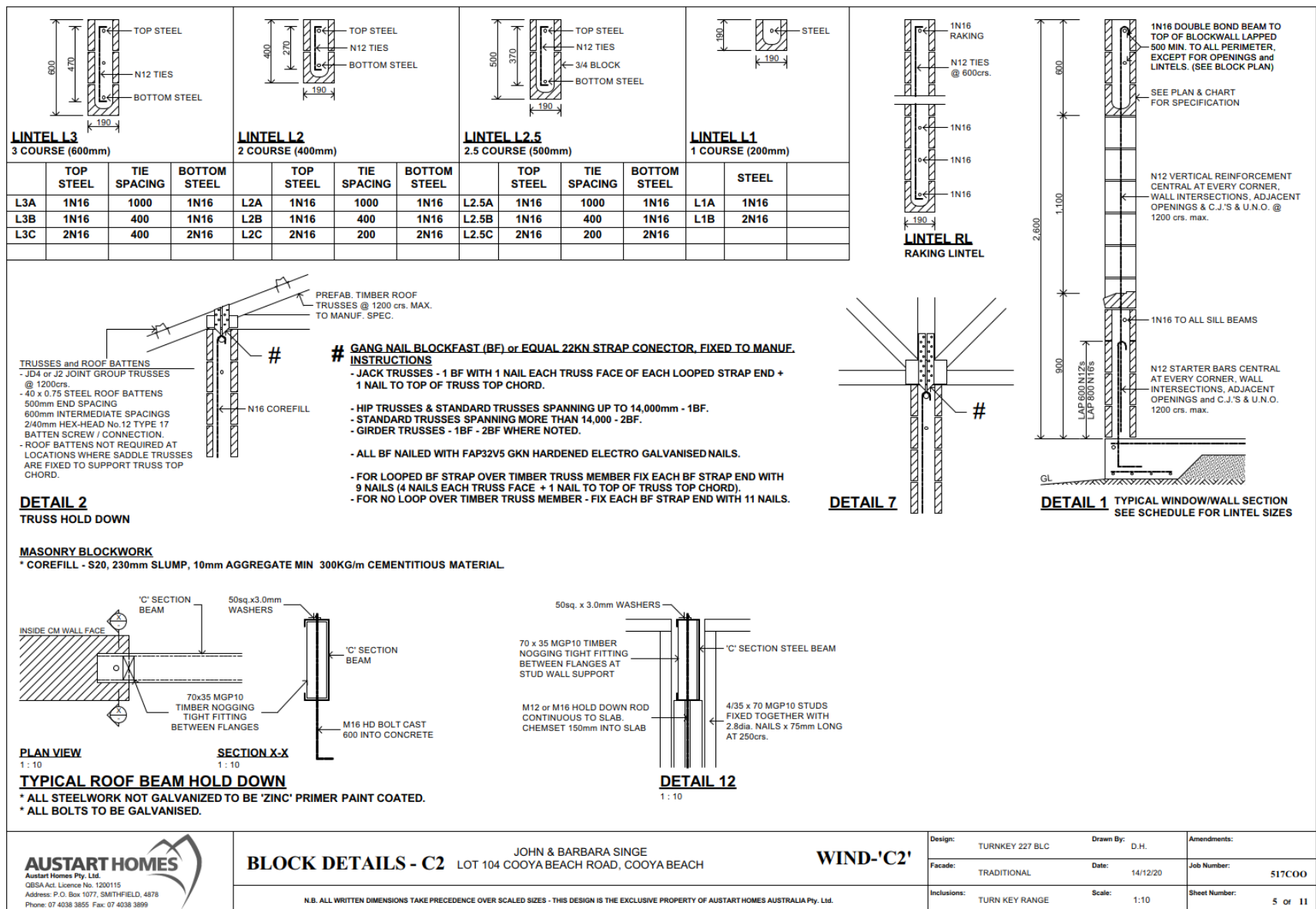
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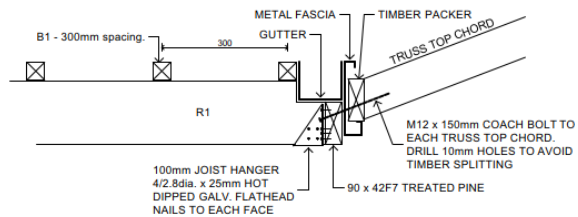
Amendments: 19/01/21

Job Number: 517COO Sheet Number: 3 of 11

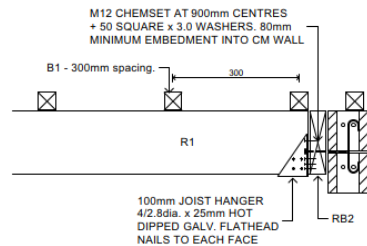




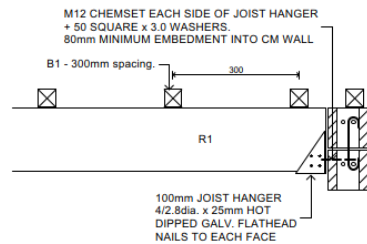




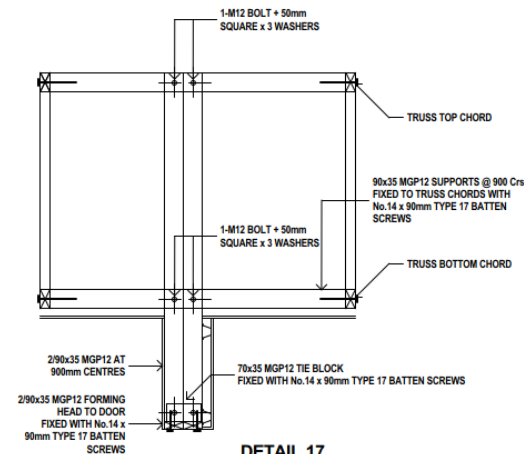
**DETAIL 16**



**DETAIL 15**



**DETAIL 15 ALTERNATIVE**



**DETAIL 17  
TRUSSES PARALLEL TO DOOR  
1:20**



**BLOCK DETAILS -  
C2B**

JOHN & BARBARA SINGE  
LOT 104 COOYA BEACH ROAD, COOYA BEACH

**WIND-'C2'**

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| Inclusions: | TURN KEY RANGE  | Scale:    | 1:10 , 1:20 | Sheet Number:     |
|             |                 |           |             | 517COO<br>6 of 11 |





