

25 November 2022

**Enquiries:** Jenny Elphinstone  
**Our Ref:** SITEX 2022\_5178/1 (Doc 1124987)  
**Your Ref:**

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

Mr Edward John McCracken  
1835R Mossman-Daintree Road  
WONGA QLD 4873

**Email:** [mccracken05@bigpond.com](mailto:mccracken05@bigpond.com)

Dear Sir

## EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 22 November 2022.

### Summary of Exempt Development

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Development of roofed cattle yards.

### Location details

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Street Address: 2859 Mossman Daintree Road Lower Daintree  
Real Property Description: Lot 3 on RP896303  
Local Government Area: Douglas Shire Council

### Decision

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Council advises that an exemption certificate has been granted on 25 November 2022 for development as detailed in Attachment 1.

### Referral agencies

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Not Applicable

### Reasons for giving exemption certificate

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The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

**When exemption certificate ceases to have effect**

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This exemption certificate does not lapse.

**Other**

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Please quote Council's application number: SITEX 2022\_ 5178/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Jenny Elphinstone on telephone 07 4099 9444.

Yours faithfully

A handwritten signature in black ink, appearing to be 'P. Hoyer', with a stylized flourish at the end.

**For**  
**Paul Hoyer**  
**Manager Environment & Planning**

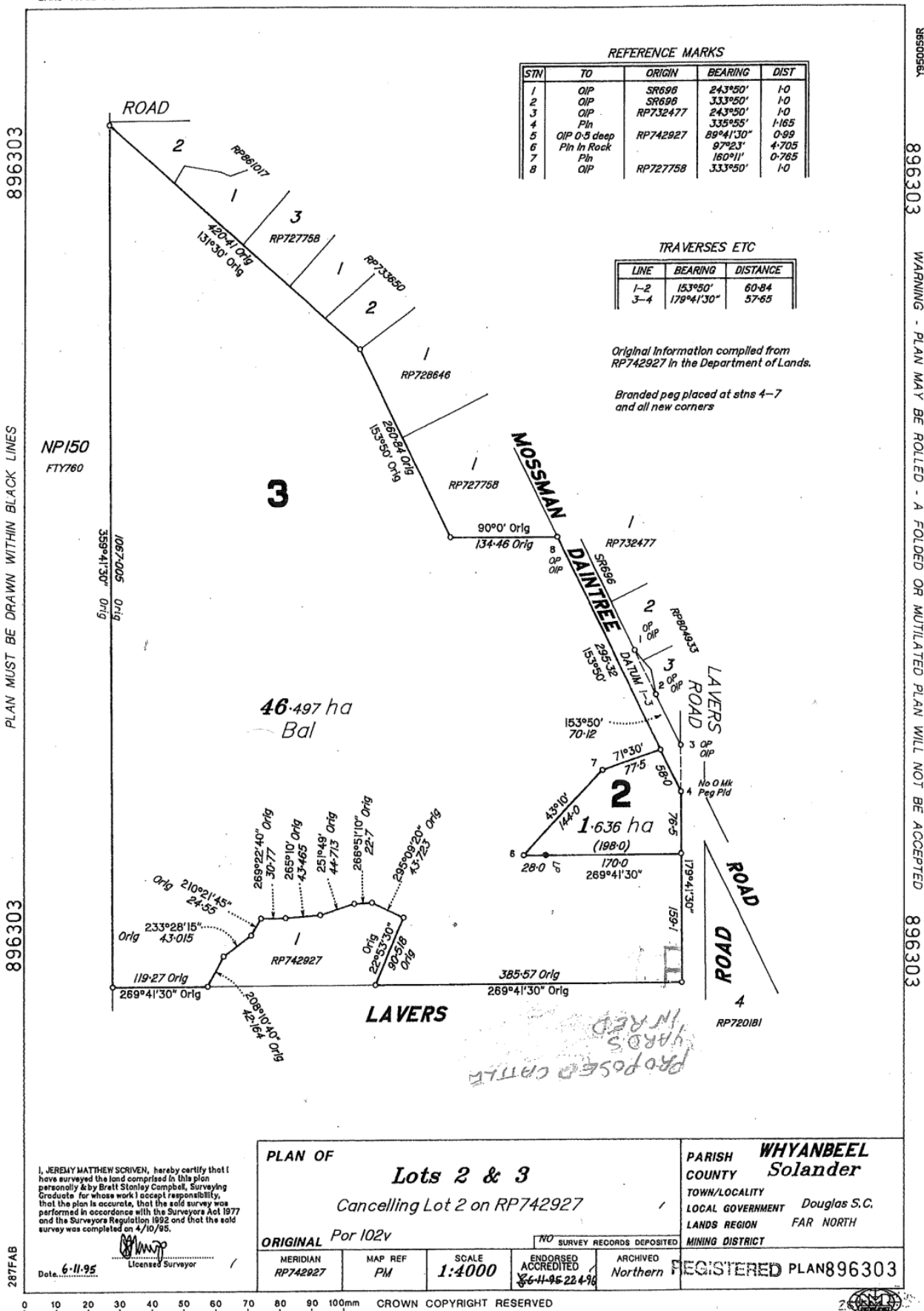


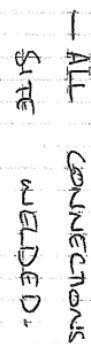
896303 V0 REGISTERED Recorded Date 22/07/1996 09:57 Page 1 of 2 Not To Scale

LAND TITLE ACT 1994

## SURVEY PLAN

FORM 21 VERSION 1





[www.hpsqld.com.au](http://www.hpsqld.com.au)

## **STEELWORK**

1. All steelwork shall be in accordance with AS 4100 - Steel Structures Code, and AS 4600 - Cold Formed Steel Structures Code.
2. The Contractor shall provide and supply any additional temporary bracing etc. necessary to adequately and safely hold steelwork in position during construction.
3. All welding shall be in accordance with AS 1554 Structural Steel Welding Code.
4. All steelwork exposed to the weather shall be galvanised or undercoat painted with one coat 0.075mm minimum dry thickness of two pack inorganic air cured zinc silicate applied within 2 hours of approved preparation. Such undercoat shall be top coat protected to the approval of the Architect / Designer.
5. Galvanising with hot dipping shall be to AS 1627 and AS/NZS 4680.
6. Painting and preparation shall be to manufacturer's specification.
7. If not otherwise specified abrasive cleaning prior to painting shall be class 2.5 to AS 1627.4.
8. Bolts shall be galvanised. A suitable washer shall be used under all nuts.
9. Bolt Legend:
  - 4.6S - Commercial grade 4.6 bolts, snug tightened.
  - 1. 8.8S - High strength grade 8.8 bolts, snug tightened.
10. Unless otherwise specified, the following shall apply:
  - i. Cleats, brackets, stiffeners etc. – ex. 6mm plate
  - ii. Welding – 6mm continuous fillet to full perimeter at contact
  - iii. Bolt hole clearance – 2mm, hold down bolt hole clearance – 4mm
  - iv. All bolts cast into concrete to be hot dipped galvanised
  - v. Butt welds shall be qualified complete penetration in accordance with AS 1554.1
  - vi. End plates to all hollow members shall be equal to wall thickness or minimum 4mm. Provide 'breather' holes if members are to be hot dipped galvanised.
  - vii. Connections – minimum of 2-M16 4.6/S bolts.
  - viii. Bracing shall intersect on centerlines of members.
11. Fabricator shall allow for all cleats and other fixings required. All beams having a natural camber within the straightness tolerance shall be erected with the camber up. Beams and trusses over 6.0m spans shall be pre cambered 1 in 500 ( UNO ).
12. All purlins and girts, fixings and accessories, shall be galvanised cold formed. Installation of all accessories shall be to the manufacturer's specification.
13. Metal roof cladding installed with metal roof battens shall have the cladding, battens with batten spacing, and fixings, certified by the supplier for the nominated profile, for the wind load nominated on page 1, the loading notes. They shall be compliant with current Australian Standards and Codes of Practice.

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24-10-2022

## CONCRETE AND REINFORCEMENT

1. All concrete work shall be in accordance with AS 3600 Concrete Structure Code.
2. Concrete Specification shall be:

ELEMENT	GRADE	SLUMP	MAX AGG
Filling 150CM	N20	250+30	Sand
Filling 200CM	N20	230+30	10
Ground Slab & Footings	N25	80+15	20
3. Reinforcement is shown diagrammatically; it is not necessarily shown in true projection. Where transverse tie bars are not shown, provide N12-300.
4. All reinforcement shall be in accordance with AS 4671.

Symbols:

F, RF, SL	Hard drawn wire reinforcing fabric
R	Structural grade 230R round bar
S	Structural grade 230S deformed bar
N	Grade 500N deformed bar
5. Cover to reinforcement shall be:
  - (i) Footings in ground 75mm bottom, 65mm sides and top
  - (ii) Footings on membrane 50mm bottom
  - (iii) Slab on Ground 30mm nominal, 20mm minimum top  
50mm bottom
  - (vii) Within concrete masonry block – 10mm.
6. Reinforcement shall be supported on approved chairs at 800mm centres.
7. Splice laps unless shown otherwise:

Fabric - 1 complete mesh + 50mm, Deformed bar - 30 X bar diameter minimum.
8. Construction joints shall be scabbled and cleaned and coated with cement/water slurry immediately prior to placing concrete.
9. Concrete shall be compacted using mechanical vibrators.
10. Concrete shall be cured to AS 3799 for a minimum of 7 days by a method approved by the Engineer.
11. Control joints shall be constructed as specified. Saw cutting shall be carried out within 6 hours of concrete hardening.
12. Rigid floor finishes shall be bedded in abaflex or equal tile adhesive to manufacturers specification as applicable with movement joints expressed.

Heath P Rodgers B.E. Hons. MIE Aust RPEQ Mobile 0418 692087 Ph: 07 40 519466 Fax 07 40 519477

E: admin@roddersconsulting.com.au 124 Spence Street, PO Box 1769, Cairns 4870

## **BUILDING PLATFORM PREPARATION**

1. Building Platform preparation shall be carried out in accordance with AS 3798, Guidelines on Earthworks for Commercial and Residential Development, and otherwise as directed in the engineering documentation.
2. All work including any testing shall be carried out in accordance with the relevant Australian Standards and Codes of Practice, in particular AS 2870 - Residential Slabs and Footings.
3. Strip building platform of topsoil, deleterious organics, and any other deleterious material.
4. Shape ground around the building platform to direct run off water away from and around the building pad as necessary.
5. Compact the exposed subgrade in footings and under ground slabs with suitable equipment to a minimum dry density ratio 95% using Standard Compaction, or a density index of at least 70%.
6. Raise building pad a maximum of 300mm with approved sand or crusherdust fill compacted to a density index of at least 70% as appropriate.

Foundation maintenance shall be in accordance with the CSIRO brochure, "Guide to Home Owners on Foundation Maintenance and Footing Performance"



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## GENERAL NOTES

1. The Engineering notes under the job number above are part of the drawings, and are to be attached to each set of drawings to be worked from.
2. Engineering drawings shall be read in conjunction with all Architectural and other Consultants' drawings and specifications, and with such other written instructions as may be issued during the course of the construction. Any discrepancies shall be referred to the Engineer before proceeding with the work.
3. All materials and workmanship shall be in accordance with the relevant and current SAA codes, and by-laws and ordinances of the relevant building authorities, except where varied by the project specification.
4. All relevant dimensions shown shall be verified by the builder on site. Engineers' drawings shall not be scaled for dimensions.
5. During construction the structure with it's all structural elements shall not be overstressed, and shall be maintained in a stable condition. Temporary shoring, propping and bracing shall be provided by the builder to keep all excavations and the structure stable at all times.
6. Unless noted otherwise all levels are in metres and all dimensions are in millimetres.
7. The structural components detailed on the drawings have been designed in accordance with the relevant codes and Local Government ordinances for the loadings indicated.
8. UNO stands for 'unless noted otherwise'.

## SERVICE LOADS

1. Live Loads to AS 1170, Part 1  
Roof 0.25 kPa
2. Wind Loads to AS 1170, Part 2  
Region "C2", Design Gust Wind Speed, 61m/s ultimate limit state.

## FOOTINGS

1. The builder shall familiarise himself with the contents of the Soils Report where available and strictly adhere to the Building Pad Preparation specification.
2. Footings shall be located centrally under columns and walls, and strip footings shall be cast on horizontally excavated benches, unless specifically detailed otherwise.
3. The design of the structure has been based on the foundation having a minimum bearing capacity of 100 kPa.
4. Footings are to be constructed and back filled as soon as possible following excavation to avoid softening or drying out due to exposure.

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Heath P Rodgers RPEQ 7859 Mobile 0418 692087 Ph: 07 40 519466 Fax 07 40 519477

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This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

### 1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address	2859 Mossman Daintree Road		
	Suburb/locality	Lower Daintree	
State	QLD	Postcode	4873
Lot and plan details ( <i>attach list if necessary</i> )			
L:3 RP:896303			
Local government area the land is situated in			
Cairns Regional Council			

### 2. Description of aspect/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

All Structural Aspects – Cattle Yards

Footings  
Roof Framing & Tie Down

### 3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

We further certify that we have designed the footings for the above project based on the site being classified in accordance with AS 2870, the Residential Slabs and Footings Code, as minimum Class "M". The builder shall satisfy himself that the site is class "M" or better.

Region "C2", Design Gust Wind Speed, 61m/s ultimate limit state.

AS 1170 parts 0,1 & 2

AS 2870

AS 3600

AS 4100

AS 4600

#### 4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Dwg No's: SK01 by Jordan McCracken  
Engineering Notes: 220674 by Rodgers Consulting Engineers

#### 5. Building certifier reference number and building development approval number

Building certifier reference  
number

Building development  
application number (if  
available)

#### 6. Appointed competent person details

Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.

Name (in full)	Heath P Rodgers		
Company name (if applicable)	Rodgers Consulting Engineers		
Contact person	Heath Rodgers		
Business phone number	07 4051 9466	Mobile	0418 692 087
Email address	admin@rodgersconsulting.com.au		
Postal address	PO Box 1769		
	Suburb/locality	Cairns	
State	QLD	Postcode	4870
Licence class or registration type (if applicable)	Civil/Structural		
Licence or registration number (if applicable)	07859		

#### 9. Signature of appointed competent person

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.

Signature		Date	24/10/2022
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#### LOCAL GOVERNMENT USE ONLY

Date received	Click or tap to enter a date.	Reference number/s
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## Appendix – explanatory information

**IMPORTANT NOTE:** it is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

**Who can complete this certificate?** (sections 10 of the *Building Act 1975* (Building Act) and 73 of Building Regulation 2021 (BR 2021))

A building certifier can accept from a competent person (design – specifications) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

For a competent person to meet the regulation requirements (section 77 of the BR 2021) they must substantially complete all sections of this form, including information, such as the design of a particular material, system, method of building or that a building element complies with the Building Code of Australia or a provision of the Queensland Development Code. It is also important that the details of the relevant reference documents are included, for example, the applicable Australian Standards or other technical provisions that may be applicable to the subject work.

**What is the purpose of this form?** (section 10 of the *Building Act 1975*)

The information in this form informs the building certifier's decision making when they are assessing a building development application and issuing the building development approval for the building work the subject of the certificate (form).

**When is this form not required?**

The assessment of some building applications will be entirely within the expertise of the relevant building certifier and therefore they may not seek the help of a competent person. In these instances, this form is not required.

**Is a manufacturer or supplier required under the BR 2021 to complete and sign this Form 15, if requested?**

**No.** A manufacturer or supplier of building materials is not required to complete and give this form or any aspect and inspection certificates if requested by a construction contractor, builder, appointed competent person, or a building certifier.

However, a manufacturer or supplier may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a manufacturers statement for an aspect or material that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

**What if there is not enough space for all the supporting material/documents?**

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. **Note:** that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

**Appointed competent person (design or specification) – (sections 34 and 36 of the BR 2021)**

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of inspection help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day. The building certifier can also decide an individual is a competent person (design-specification) and a competent person (inspection) at the same time or for the same systems or components of the work.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

## PRIVACY NOTICE

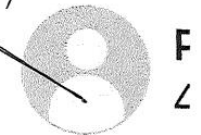
The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.



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